



DESERT HOME INSPECTORS, LLC.

602-628-4941

andy@deserthomeinspectors.com

<https://www.deserthomeinspectors.com>



YOUR HOME INSPECTION REPORT

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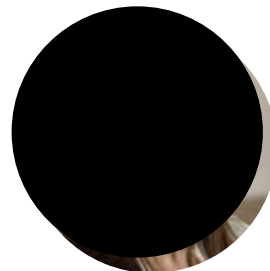
Inspector

Andrew Lohman

Arizona Certified Home Inspector #64253

602-628-4941

andy@deserthomeinspectors.com



Agent

[REDACTED]
[REDACTED]
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Home Inspection Full Report by Desert Home Inspectors.

The "First Step to buying or selling your home!"

SUMMARY

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UNSATISFACTORY ITEM

- ⚠ 2.6.1 Exterior - House Wall Finish: Holes Need Repair
- ⚠ 2.9.1 Exterior - Exterior Doors: Sliding Glass Door / Does Not Lock
- ⚠ 2.10.1 Exterior - Exterior Windows: Broken Dual Pane Seals Noted
- ⚠ 2.11.1 Exterior - Screens: Screen Door / Missing
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- ⚠ 4.3.1 Kitchen - Refrigerator: Bin Does Not Slide Out
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- ⚠ 6.7.1 Home Interior / Living Areas - Screens / Shutters / Blinds: Blinds Damaged
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- ⚠ 9.8.1 Roof - With Flat Roofed Sections: Clear Flat Roof of Debris
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- ⚠ 12.7.1 Plumbing - Polybutylene Water Pipes: Polybutylene Pipes Noted
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- ⚠ 12.11.1 Plumbing - Irrigation: Sprinklers Over-Spraying Onto The House
- ⚠ 12.13.1 Plumbing - Soft Water System: Corrosion Noted / Water Line
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- ⚠ 12.16.2 Plumbing - Fire Suppression System: Sprinkler System / Yearly Evaluation

⚠ 13.6.1 Main Electrical Panel - Wiring Observations: Double Tapped Wires / Noted



14.13.1 HVAC / Heating & Cooling Systems - Refrigerant Lines: Attic Refrigerant Line / Missing Some Insulation

⚠ 15.11.1 Bedrooms - Smoke Detectors: NONE / Add Bedroom Smoke Detectors

⚠ 16.3.1 Master or Main Bathroom - Sink and Faucet: Mechanical Stopper / Missing

⚠ 16.3.2 Master or Main Bathroom - Sink and Faucet: Faucet / Loose in Place

⚠ 16.3.3 Master or Main Bathroom - Sink and Faucet: Mechanical Stopper / Leaking

⚠ 16.4.1 Master or Main Bathroom - Tub/Shower: Valve / Leaks During Use

⚠ 16.4.2 Master or Main Bathroom - Tub/Shower: Shower Door / Bad Seal

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⚠ 17.4.1 Hallway Bathroom - Tub-Shower: Valve / Leaks During Use

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⚠ 17.15.1 Hallway Bathroom - Lights / Wall Switches: Ceiling Light / No Response

1: INSPECTION DETAILS

Information

Inspection Start Time (Approx) 9:00 am	Inspection Finish Time (Approx) 11:00 am	Home Inspection Fee \$350.00
Size of Property (Square Feet) 1992	Year Built 1510	House / Building Faces Northwest
Type of Building Single Family	Utilities All Utilities Are On	Occupancy & Furnishings Furnished
Style Single Story	In Attendance Client(s), Buyers Agent	Approx Temperature (Fahrenheit) 65-70
Weather Conditions Clear & Dry		

Budget Brothers Termite Inspection Fee

\$55.00

If Budget Brothers was used for a termite inspection and you have questions regarding their report, they can be reached at 602-253-2495.

<https://budgetbrotherstermite.com/>

Email: office@budgetbrotherstermite.com

2: EXTERIOR

Information

Exterior Lot Pictures: Courtyard

No Courtyard

Driveways: Satisfactory

The driveway is in satisfactory condition.

Driveways: Type

Concrete



Walkways: Satisfactory

The walkway(s) are in satisfactory condition.

Walkways: Type

Concrete with tile

House Wall Finish: Cladding Type

Stucco



Doorbell: Satisfactory

The doorbell is functional and works on demand.

Exterior Windows: Type

Double pane

Outlets / Electrical: GFCI / Reset Locations

Master Bathroom

Fences & Gates: Gates / Satisfactory

The property yard gates are functional and in satisfactory condition.

Fences & Gates: Fence Type

Concrete Block

Type of yard fencing in place on the property.

Fences & Gates: Gate Type

Steel Rail/Wood

Gate types on the property.

Patio Floor / Patio Cover(s): Patio Floors Satisfactory	Patio Floor / Patio Cover(s): Front Patio Cover / Acceptable	Patio Floor / Patio Cover(s): Rear Patio Cover / Acceptable
The patio floor areas are in satisfactory condition.	The front patio cover is in acceptable condition.	The rear patio cover is in acceptable condition.

General Info

This report is the exclusive property of Desert Home Inspectors, LLC and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

The observations and opinions expressed in this report are those of Desert Home Inspectors, LLC and supersede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards set forth and regulated by the Arizona Board of Technical Registration. Items we do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations made in this report should be completed by qualified specialists or contractors, well before you take possession of this property and within any specified contingency or inspection period. Qualified contractors may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein. All printed comments and the opinions expressed herein are those of Desert Home Inspectors, LLC.

Scope of Work

You have contracted with Desert Home Inspectors, LLC to perform a generalist inspection in accordance with the standards of practice established by the Arizona Board of Technical registration. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which is clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

Most homes built after 1978, are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented, and therefore public, information about several environmental contaminants that could be of concern to you and your family, all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health and safety, and environmental hygiene are deeply personal responsibilities, and you should make sure that you are familiar with any contaminant that could affect your home environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at www.epa.gov/iaq/pubs/insidest.htm.

MOLD is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread in the air then land and feed on organic matter. It has been in existence throughout human history and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxins that represent a serious health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all of which are areas that we inspect very conscientiously. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor your home, and particularly those areas that we identified. Naturally, it is equally important to maintain clean air-supply ducts and to change filters as soon as they become soiled because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Regardless, although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants, and particularly if you or any member of your family suffers from allergies or asthma. Also, you can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture, and Your Home," by visiting their website at: <http://www.epa.gov/iaq/molds/moldguide.html>, from which it can be downloaded.

ASBESTOS is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer and is, therefore, a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

POPCORN CEILING - In early formulations, it often contained white asbestos fibers. When asbestos was banned in ceiling treatments by the Clean Air Act of 1978 in the United States,[1] popcorn ceilings fell out of favor in much of the country. However, in order to minimize economic hardship to suppliers and installers, existing inventories of asbestos-

bearing texturing materials were exempt from the ban, so it is possible to find asbestos in popcorn ceilings that were applied through the 1980s. According to the EPA, the use of asbestos in textured ceiling paint was banned in 1977. Inhaled in large quantities, asbestos fibers can cause lung disease, scarring of the lungs and lung cancer. However, not all popcorn ceilings contain asbestos. Moreover, if left undisturbed or contained, asbestos is not dangerous.

RADON is a gas that results from the natural decay of radioactive materials in the soil and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and be dispersed into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their effects on health, by contacting the Environmental Protection Agency (EPA), at www.epa.gov/radon/images/hmbuygud.pdf, and it would be prudent for you to inquire about any high radon readings that might be prevalent in the general area surrounding your home.

LEAD poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it is not an immediate health threat, but as a component of potable water pipes, it is a definite health hazard. Although rarely found in modern use, the lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections that may deem prudent within the contingency period.

CRACKS AND WINDOWS - Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Many environmental factors come into play when and if hermetic seals have failed and Unfortunately, it is not always apparent, which is why we disclaim an evaluation of hermetic seals or unnoticed fogging glass. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

FURTHERMORE, you are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing. Including HVAC professionals, electricians, engineers, window professionals roofers etc.

All conditions are reported as they existed at the time of the inspection. The information contained in this report may be unreliable beyond the date of the inspection due to changing conditions.

General Site Comments: General Property Comments

It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior, because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

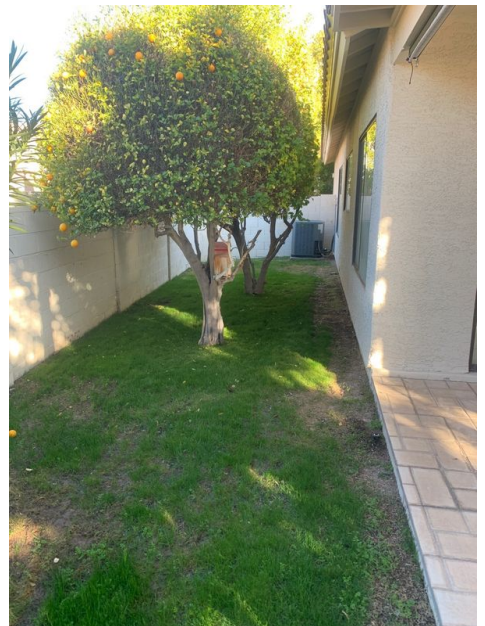
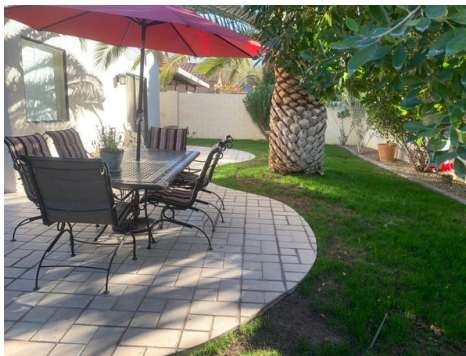
Exterior Lot Pictures: Front Yard Lot Pictures

Front Yard



Exterior Lot Pictures: Backyard Lot Pictures

Backyard



Walkways: Minor Damage Noted

There is damage and chipping noted on some walkway areas. I recommend service as you feel necessary.



Landscaping: Not Evaluated

I do not fully evaluate landscaping, but some of the trees, plants, bushes or shrubs may need to be trimmed or pruned. Regular maintenance and watering of them is recommended and assumed as part of healthy and normal yard landscaping.

Landscaping: Vegetation Encroaching

Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.



House Wall Finish: Satisfactory Overall

The exterior house wall finish is in acceptable or satisfactory condition, unless otherwise specifically noted. Normal or typical wearing was noted.



House Wall Finish: Typical Stucco Shrinkage Cracks

There are typical shrinkage type cracks observed in the stucco, which you should view for yourself. All cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. Most people do not realize that structures move, but they do and sometimes more or less continuously. Therefore, stress, settlement or shrinkage type fractures can reappear after they have been repaired, and particularly if they have not been repaired correctly. I recommend that all exterior cracks and gaps, if present, are properly covered or sealed to help prevent possible moisture or pest intrusion. However, you may wish to have this confirmed by an appropriate specialist. Most stucco homes are recommended to be repainted about every 10 years or so.



House Wall Finish: Previous Repairs Noted

There are obvious areas of previous exterior wall repair. I recommend asking the seller for more detailed information or having this evaluated further by a qualified contractor.



Grading & Drainage: Grading Comments

Water can be destructive and foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system, but if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that can have an adverse affect on health.

Grading & Drainage: Moisture & Related Issues

Moisture intrusion is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors of a residence are at the same elevation or lower than the exterior grade we could not rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you should schedule a specialist inspection as soon as possible.

Grading & Drainage: Interior-Exterior Elevations

There is an acceptable difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space, but of course I cannot guarantee that.

Grading & Drainage: Flat & Level Pad

The residence is situated on a flat level pad, which would typically not need a geological evaluation. However, because we do not have the authority of a geologist you may wish to have a site evaluation, as you feel necessary.

Grading & Drainage: Drainage Swales Clear

The drainage swales are clear and clean and should be kept clean for the general maintenance of the property.

Exterior Doors: Door Locks / Satisfactory

The residence door locks were verified as satisfactory or functional. They work as intended, unless otherwise noted .

Exterior Doors: Front Door(s) / Satisfactory

Steel Panel

The front entrance door(s) are solid, security type doors. Also noted adequate weather stripping, thresholds, door sweeps and deadbolts. They function properly and are in acceptable condition, unless otherwise noted. There is a little light at the bottom of this door and weather stripping replacement or adjustment may be necessary for pest intrusion and for energy efficiency.



Exterior Doors: Rear Door(s) / Satisfactory

Dual Pane Glass Insert

The rear entrance door(s) are solid, security type doors. Also noted adequate weather stripping, thresholds, door sweeps and deadbolts as necessary. They function properly and are in acceptable condition, unless otherwise noted.

Exterior Doors: Sliding Glass Door(s) / Dual Pane Glass / Acceptable

The sliding glass door(s) are dual pane glass, tempered, operate smoothly and in acceptable condition.

Exterior Windows: General Comments

The house or residence windows are in satisfactory condition from the exterior and from within the interior living areas, unless otherwise noted. This includes areas such as but is not limited to: bedrooms, bathrooms, living areas, kitchen, garage, guest quarters, hallways etc. In accordance with industry standards, I am not required to test every window in the house and particularly if the house is furnished. However, I do make a realistic attempt to do so in the best interest of my clients. Sometimes window location, window screens, furniture and other factors restrict window accessibility. I do test every unobstructed and accessible window in the living areas and in every bedroom or sleeping quarters to ensure at least one facilitates and emergency exit. Common window problems can include, but are not limited to: cracked or damaged glass, windows that do not operate as intended and broken hermetic seals. Any windows with broken hermetic seals can be very difficult to locate if the atmospheric conditions are not just right. The height of an emergency escape and rescue window opening should not be more than 44" inches above the floor and accessible by approximately 5.7 square feet of space or 20" x 24". If you desire more information about the windows in this property, I recommend asking the seller and/or consulting a qualified window professional.

NOTE: Provision 11.2 B of the Standards of Professional Practice for Arizona Home Inspectors does not apply to the area between panes of glass in multi-pane glazing assemblies as it relates to the presence or absence of moisture or condensation.

Exhaustive evaluation of the interior of multi-pane window assemblies is determined to be cosmetic and outside of the scope of a home inspection. Detection of problems related to the hermetic seal, interior coatings and gases that may or may not be present requires specific expertise. Additionally, the ability to determine the condition of the hermetic seal, interior coatings, and gases present within is highly dependent on climactic conditions, cleanliness of glazing, window screen and window covering obstructions.

Any comments we make regarding the integrity of the window seals in multi-pane windows is being made only as a courtesy to our clients based on the windows at the time of the inspection.

Exterior Windows: Tested / Functional

In accordance with industry standards, I am required to test a representative sample of windows. The windows I tested were functional and worked properly, unless otherwise noted. However, I do test every unobstructed and accessible window in every living area and bedroom to ensure at least one facilitates an emergency exit or egress.

Exterior Windows: Seal Around Exterior Windows

I recommend monitoring the areas around your exterior windows and sealing as needed to help prevent possible moisture intrusion issues. Over time, small cracks and exposed areas will occur. For example, stucco can shrink and pull away from windows as it dries. Further evaluation is recommended from a qualified contractor for more detailed information and service is determined necessary.

Exterior Windows: Dual Pane Windows Comment

Multi-pane windows with broken hermetic seals can be very difficult to locate or identify at all times and weather conditions. Most commonly noted by slight fogging, moisture or discoloration between the panes of glass.

Sometimes the atmospheric conditions, temperature and daylight will prevent these broken seals from standing out or being noticeable. Due to this difficulty, I recommend you should have a qualified contractor further evaluate all the windows in this residence for more detailed information and before you take possession of this property.

Screens: Some Missing

Some of the window screens are missing. Screens are often removed for aesthetic reason, but you may want to have them installed. I recommend asking the seller for more details or if they have them in storage.



Screens: Not in Place on Windows

The window screens are not in place on the windows. Many were noted in the garage. Screens are often removed for aesthetic reason, but you may want to have them reinstalled.



Lights: Exterior Lights / Satisfactory

The exterior lights outside the doors of the residence and on the property were functional when tested. Any sensor or light sensitive fixture lights were not tested. All lights may not have been located and/or tested.

Outlets / Electrical: GFCI Satisfactory

The ground fault circuit interrupter or GFCI outlets present were noted as functional at the time of inspection. Their approximate locations are noted. All GFCI reset locations may not have been located at the time of the inspection.

Ceiling Fans: Patio Fans / Acceptable

The patio fans that were tested are functional and respond on demand. It does not appear to be an outdoor type and should be replaced with appropriate blades.



Fences & Gates: Fence / Satisfactory

The exterior yard fences are satisfactory. Some fence areas could use paint service from sprinkler overspray. I also recommend having the sprinklers adjusted so they don't hit the fence or house.



Fascia / Trim / Soffits / Eaves: Fascia/Trim/Soffit Etc

Fascia, Trim, Exterior Exposed Decking

The exterior areas are in satisfactory condition as viewed during the inspection. Only minor and typical exterior weathering was viewed, unless otherwise specifically noted.

Fascia / Trim / Soffits / Eaves: Wearing Noted

Typical and minor wearing was noted on exterior wood areas. There are also areas that could use paint service.

Fascia / Trim / Soffits / Eaves: Most Areas Satisfactory

Most areas of the wood fascia board, trim, soffits, eaves and exterior decking areas are in satisfactory condition as viewed during the inspection. Minor and typical exterior weathering was noted, unless specifically stated otherwise.

Patio Floor / Patio Cover(s): Patio Floor / Typical Cracking Noted

There are typical and minor cracks in the rear patio floor and loose or missing tile that you should view for yourself and correct as desired.



Limitations

Exterior Windows

DIRTY

The residence windows are dirty or dusty on the interior and exterior glass panes. This makes evaluating the windows for broken hermetic seals more difficult. I recommend having the windows properly cleaned and further evaluated as you feel necessary.



Lights

PHOTO SENSOR LIGHTS / NOT TESTED

Any photocell sensor lights were not tested. You should ask the sellers to have these lights demonstrated as you feel necessary.

Lights

SOLAR YARD LIGHTS / NOT TESTED

Any solar yard lights were not tested as part of this inspection service.

Observations

2.6.1 House Wall Finish

HOLES NEED REPAIR



Unsatisfactory Item

Observed small holes or areas of damage at some house walls. These holes should all be located and repaired to help prevent possible moisture intrusion issues. These damaged areas can allow moisture to penetrate the walls if not properly repaired. I recommend service as necessary from a qualified contractor.

Recommendation

Contact a qualified professional.



At sprinkler timer box



Front house corner

2.9.1 Exterior Doors

SLIDING GLASS DOOR / DOES NOT LOCK

 Unsatisfactory Item

The sliding glass door handle on the doors do not lock and hold closed properly. (Both the kitchen and master bedroom) If the door is pulled somewhat hard, it opens right up. It should be serviced as necessary by a qualified contractor.

Recommendation
Contact a qualified handyman.



2.10.1 Exterior Windows

BROKEN DUAL PANE SEALS NOTED

 Unsatisfactory Item

There are dual window panes within this property with broken hermetic seals. This was noticed due to the apparent fogging or condensation forming between the panes of glass, which indicates the window seals have failed.

These windows in particular should be further evaluated by a qualified window contractor for more detailed information and service or replacement as determined necessary. All windows with broken hermetic seals may not have been properly identified during this inspection for various reasons; screens/blinds/shutters, window access, atmospheric conditions etc. Therefore, I recommend having ALL windows within this residence further evaluated. It is very common for a property with only a few broken hermetic window seals to have other windows with broken seals that may not have been noticed during this inspection.

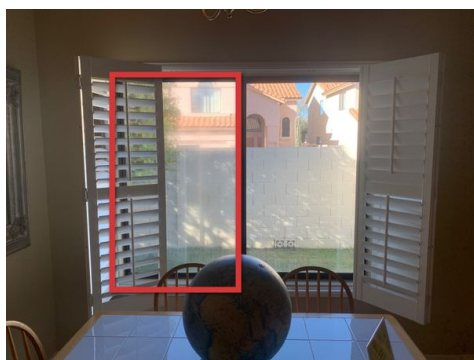
Locations: one kitchen window, one dining room window, one kitchen slider window, one family room window and two windows in master bedroom.

Recommendation

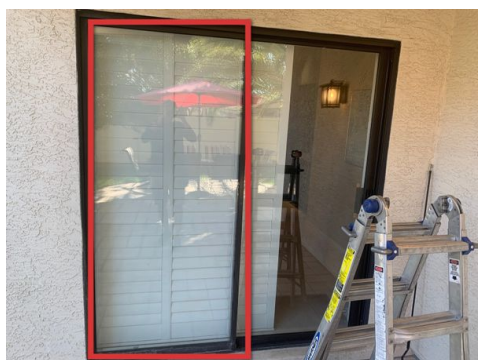
Contact a qualified window repair/installation contractor.



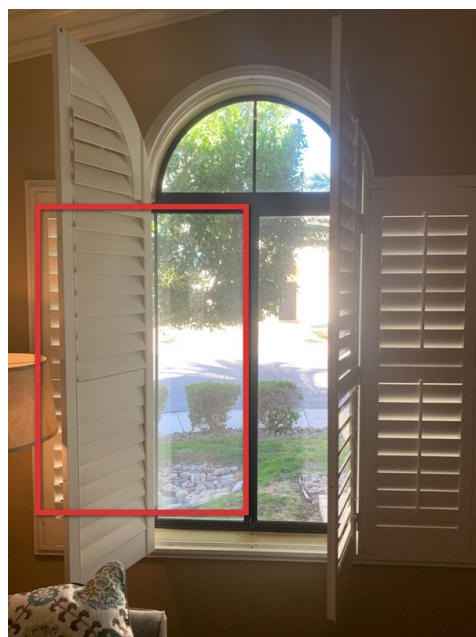
Kitchen



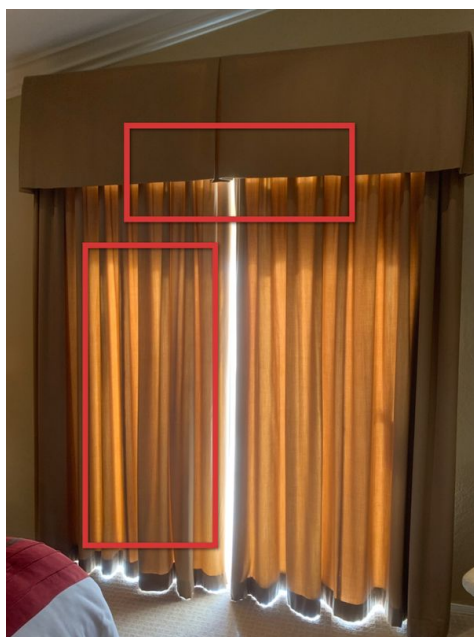
Dining room



Kitchen slider window



Family room



Master bedroom

2.11.1 Screens

SCREEN DOOR / MISSING

 Unsatisfactory Item

Both sliding screen doors are missing on the sliding glass doors. They appeared to be in the garage. I recommend having the seller reinstall and demonstrate them as you feel necessary.

Recommendation

Contact a qualified professional.



Master bedroom



Kitchen

2.16.1 Fascia / Trim / Soffits / Eaves

MOISTURE DAMAGE NOTED

 Unsatisfactory Item

Sections of the wood fascia and eave are moisture damaged. These areas should all be identified and further evaluated by a qualified contractor for service as determined necessary. Service is important to help prevent further wear or deterioration.

Recommendation

Contact a qualified professional.



Front house corner



Rear patio fascia

2.16.2 Fascia / Trim / Soffits / Eaves

TRIM / SEPARATION NOTED

 Unsatisfactory Item

ABOVE EXTERIOR AC UNIT

There is wood trim separation that needs service from a qualified contractor. Service is important to help prevent moisture from getting behind the trim areas and causing damage.

Recommendation

Contact a qualified professional.



3: FOUNDATION AND STRUCTURE

Information

Slab Foundation: Material/Type

Concrete Slab-On-Grade

Columns / Supports: Columns and Supports / Type

Stucco & Wood

Wall Structure: Identification / Type

The walls are conventionally framed with wooden studs

Floor Structure: Identification / Type

Poured Concrete Slab

Roof / Ceiling Structure: Identification / Type

Prefabricated truss system

Various Hard Surfaces: Satisfactory

The visible portions of the hard surfaces are in acceptable condition, unless otherwise specifically noted.

Various Hard Surfaces: Common Settlement Cracking Noted

There are common settling, or curing, cracks in the hard surfaces. This is somewhat predictable, and is typically not regarded as being structurally significant, but I am not a specialist and you may wish to have this confirmed by one.

Slab Foundation: General Comments

This residence has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable. Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or even a slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Slab Foundation: Satisfactory

The visible foundation areas show only the normal signs of weathering and/or cracking at the time of the inspection. These are considered satisfactory conditions. No significant damage was noted at this time, unless otherwise specifically noted.

Slab Foundation: Method of Evaluation

The slab foundation was evaluated on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

Slab Foundation: Bolted Slab / Acceptable

The residence appears to have a bolted slab foundation with no visible or significant abnormalities.

Columns / Supports: Satisfactory

The property columns and/or supports were noted to be in satisfactory condition at the time of the inspection. Unless otherwise specified.

Wall Structure: Satisfactory

The wall structure of this residence is in satisfactory condition, unless otherwise noted.

Floor Structure: Satisfactory

The floor structure is in satisfactory condition where visible, unless otherwise noted.

Roof / Ceiling Structure: Satisfactory

The roof and ceiling structure appears to be in satisfactory condition, unless otherwise noted.

4: KITCHEN

Information

Refrigerator: Picture



Dishwasher: Picture



Garbage Disposal: Picture



Built in Microwave: Picture



Range with Cooktop: Picture



Range with Cooktop: Type
Electric Range

Exhaust Fan or Downdraft:
Picture

Sink and Faucet: Picture / Water Flow

Picture of the functional water flow at the kitchen sink.



Sink and Faucet: Kitchen Sink And Faucet / Functional

The kitchen sink and faucet are functional.

Sink and Faucet: Hand Sprayer Satisfactory

The kitchen sink hand sprayer is functional and works on demand.

Cabinets & Pantry: Cabinets / Satisfactory

The kitchen cabinets and drawers are satisfactory and functional.

Flooring: Satisfactory

The kitchen floor is in satisfactory condition.

Windows: Type

Double pane

Lights / Wall Switches: Ceiling Lights / Satisfactory

The ceiling lights are functional and respond on demand.

Lights / Wall Switches: Wall Switches

The kitchen wall switches are satisfactory and work on demand.

Outlets / Electrical: GFI Outlet Reset Location

Kitchen

Ceiling Fan: None Noted

There is not a kitchen ceiling fan installed.

Picture of Kitchen: View



A Renovation or Addition: Kitchen / Remodel

The kitchen appears to have been previously remodeled, and you should obtain documentation for your records, which should confirm the work was done by professionals. This is important because our inspection does not approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.

Refrigerator: Satisfactory / Temps Ok

The refrigerator was functional and achieved acceptable temperatures. This is a limited courtesy inspection and you should ask the seller about its full operation. You should make sure to set your fridge at appropriate temperatures as needed. I do not know if this appliance is staying with the property or not. I recommend you should plug the refrigerator into its own dedicated outlet and not into a GFCI protected outlet.



Dishwasher: Satisfactory

The dishwasher is functional, completes an entire cycle, drains properly and no leaking was noted during the inspection.

Garbage Disposal: Satisfactory

The garbage disposal was functional during the inspection. No leaking noted, unless otherwise indicated.

Built in Microwave: Satisfactory

The built in microwave was functional during the inspection, but I did not test it for leakage, which would require a specialized instrument. However, their power diminishes over time, and the specific measurement of the microwaves, as well as their containment within the unit, requires specialized instruments, which is beyond the scope of our service.

Range with Cooktop: Satisfactory

The range and cooktop are functional and both bake and broil work on demand.

Trap and Drain: Satisfactory

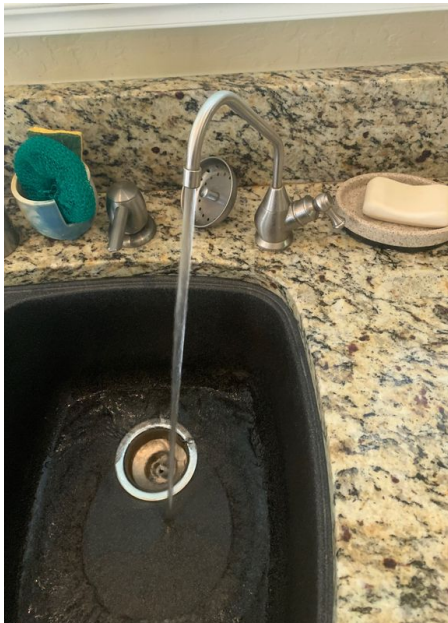
The kitchen sink traps and drains are functional. No leaking was seen during the inspection, unless otherwise noted.

Valves and Connectors: Satisfactory

The kitchen valves and connectors below the sink appear functional. Valves were not turned, however no leaking was noted at the time of inspection. Valves are not in daily use and will inevitably become stiff or frozen/stuck and need service or replacement.

Water Filtration System: Faucet / Functional

The water filter supply faucet at the sink was activated and water came out. This is a very limited courtesy check and not a full inspection of the reverse osmosis system which is beyond the scope of this home inspection. I recommended you should consult with a specialist on maintenance and water quality as these systems can fail at any time. Especially when they are not being used.



Cabinets & Pantry: Cosmetic Issues Noted

The cabinets have typical and minor cosmetic damage, often consistent with time and use. I recommend you should view these areas for yourself and correct as desired.



Countertop: Satisfactory

The visible areas of the kitchen countertop(s) are in satisfactory condition.

Windows: Satisfactory

The kitchen window(s) are in satisfactory condition. Unless otherwise specifically noted.

Outlets / Electrical: Outlets / GFCI Protection Noted

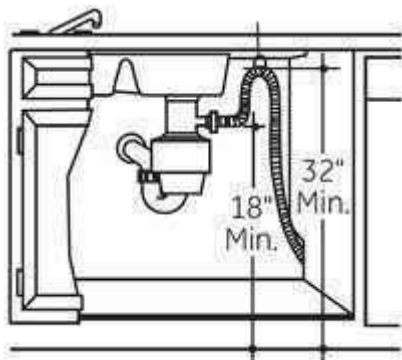
The kitchen has modern three prong, GFCI protected outlets that were functional during the home inspection.

Limitations

Dishwasher

NO HIGH LOOP

The dishwasher drain line was installed without a visible "high loop" to prevent cross contamination. I recommend further evaluation from a qualified contractor for service as necessary.



REFRIGERATOR WATER LINE / UNABLE TO VIEW

The refrigerator water line was not visible during the inspection. I did not try to test it or run water through it as part of this inspection.

STORAGE RESTRICTS VIEWING

Storage in the kitchen cabinets restricts viewing the entire cabinet and any components with them. I recommend checking the cabinets and components again once the storage is removed. It is possible for storage to hide damage, defects or moisture stains/damage that would have otherwise been visible during the inspection.

NONE NOTED

There is not a kitchen pantry closet.

UPGRADE KITCHEN OUTLETS TO GFCI

All the outlets in the kitchen do not have GFCI protection. You should upgrade the entire kitchen to have modern GFCI protection for safety reasons.



Observations

4.3.1 Refrigerator

BIN DOES NOT SLIDE OUT

BOTTOM FREEZER

The bottom freezer drawer does not move or slide out and may need adjustment or servicing as you feel necessary.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



4.4.1 Dishwasher



Unsatisfactory Item

NOT SECURED TO COUNTERTOP

The dishwasher is not secured to the countertop. It is currently loose in place. I recommend service as necessary from a qualified contractor.

Recommendation

Contact a qualified professional.



4.8.1 Exhaust Fan or Downdraft



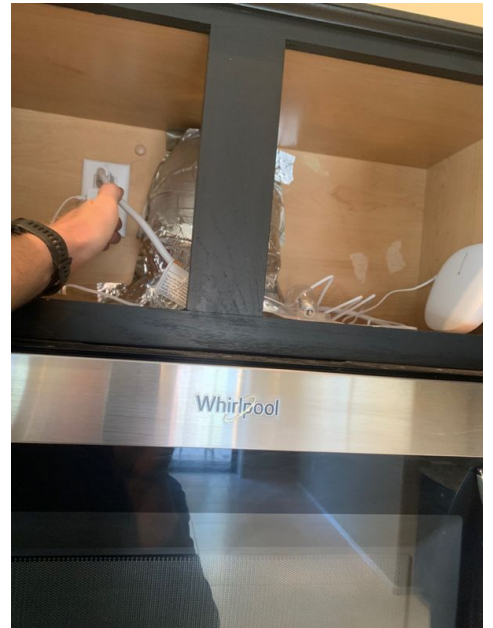
Unsatisfactory Item

EXHAUST FAN DUCT / SEPARATED IN CABINET

The kitchen exhaust fan venting or ductwork tape is separated or loose above the cabinet. This needs to be properly reconnected to allow exhaust and fumes to be properly discharged to the outside. Further evaluation is recommended from a qualified contractor.

Recommendation

Contact a qualified professional.



4.11.1 Valves and Connectors



Unsatisfactory Item

CORROSION / LEFT VALVE

Corrosion and/or mineral build-up was observed on the kitchen left side water shut-off valve. This corrosion or build-up may prevent the shut-off valve from working properly, especially if emergency shut-off is needed. It also indicates previous leaking. I recommend a qualified contractor should evaluate and repair or replace this valve or connection as necessary.

Recommendation

Contact a qualified professional.



4.13.1 Cabinets & Pantry

RUBS OR CATCHES

A kitchen cabinet is rubbing or catching and should be serviced as necessary to work smoothly and easily as intended.

Recommendation

Contact a qualified handyman.



Unsatisfactory Item



4.15.1 Walls and Ceiling

MOISTURE STAIN / WINDOW / DRY

There is corrosion on the kitchen window frames and they are currently dry. They were not wet to the touch or soft during the inspection. It appears to be coming from the lawn irrigation sprinkler spraying on the house. I recommend further evaluation from a qualified contractor for more detailed information and service as determined necessary.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



4.19.1 Lights / Wall Switches

CEILING LIGHT / LOOSE

A kitchen ceiling light mount is loose in place or shifted and should be serviced as necessary by a qualified contractor.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



5: INDOOR ENVIRONMENTAL ISSUES

Information

Environmental Observations: Air Quality Not Evaluated

I do not test for mold or measure indoor air quality, which the Consumer Product Safety Commission ranks fifth among potential contaminants. A person's health is a truly personal responsibility, and because I do not inspect for mold or test for other environmental contaminants I recommend that you should schedule an appropriate inspection by an environmental hygienist before you take possession of this property. This would be imperative if you or any member of your family suffers from allergies or asthma, and could require the sanitizing of air ducts and other concealed areas. Note: Mold cannot exist without moisture. Therefore, any moisture whatsoever, whether it be from inadequate grading and drainage, a leaking roof, window, or door, or moisture from a faulty exhaust vent, a condensate pipe, an evaporator coil, or a component of a plumbing system etc should be serviced immediately, or the potential for mold infestation will remain.

Environmental Observations: Insects and Other Pests

Vermin, insects and other pests such as: crickets, spiders, scorpions, pigeons, termites, mice/rats etc. are part of the natural habitat and they often invade homes. Many of these pests can get into a home through the smallest of areas that are likely not visible or very difficult to locate. Rats and mice have collapsible rib-cages and many pests can enter even the tiniest crevices. And it is not uncommon for pests to establish colonies within crawlspaces, attic, closets, and even inside walls, where they can breed and become a health threat. Therefore, it would be prudent to make sure that a home is rodent, insect and pest proof, and to monitor those areas that are not readily accessible. This inspection does not include an evaluation of any in wall, in ground or onsite pest control or prevention systems. You should also consult a qualified pest control service for an evaluation of the property if you are concerned or for more information. This is recommended to be completed before the close of escrow and before the residence is occupied, especially if you are concerned or desire more information

Environmental Observations: Domestic Animals

Domestic animals living within a residence can have an adverse affect on air quality etc. Their presence may require extensive cleaning of walls, floors, air ducts etc. You should evaluate this property regarding previous or current domestic animals and service as you feel necessary.

6: HOME INTERIOR / LIVING AREAS

Information

Living Space Room Pictures: Main Entry View

Windows: Windows / Type
Double pane

Cabinets / Drawers Etc: Shelves
Satisfactory

The shelves are in satisfactory condition.



General Interior Comments: Furnished Residence

The residence is furnished which limits or restricts a thorough evaluation of all wall and floor areas, windows, electrical outlets etc. In accordance with industry standards, I only inspect those surfaces that are exposed and readily accessible. I do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets. I strongly suggest you should come back to look over the property, once everything is moved out and all personal items have been removed. This will help give you a better evaluation of the overall property condition.

General Interior Comments: Living Areas Disclaimer

Our inspection of living spaces includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform. We recommend you should make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow or before you take possession of this property.

General Interior Comments: Door Stops-General

Any missing door stops throughout the home should be repaired or installed as you feel necessary.

General Interior Comments: Smoke & CO Detectors Comment

I recommend monitoring, replacing or adding smoke and carbon monoxide detectors as necessary, throughout this property, for safety reasons. Especially is gas appliances are present. Many times these units become worn, damaged or simply too old an may not work as intended.

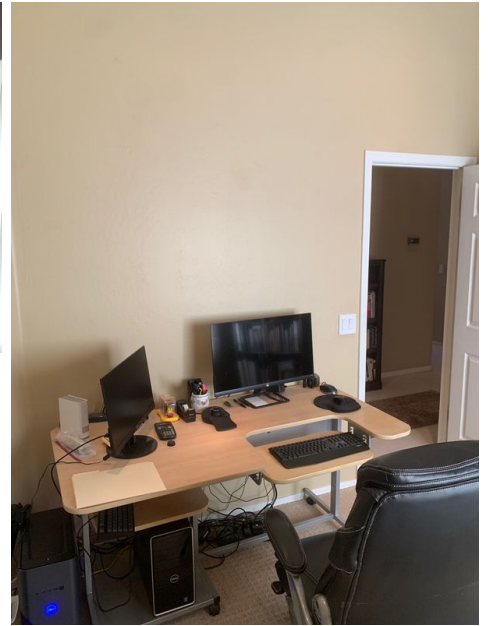
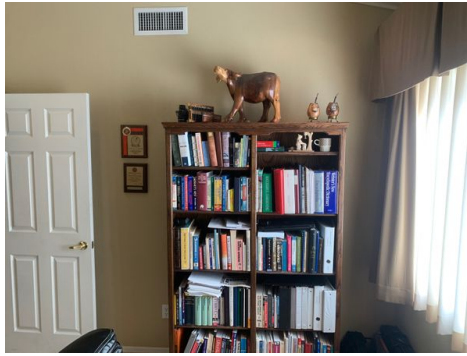
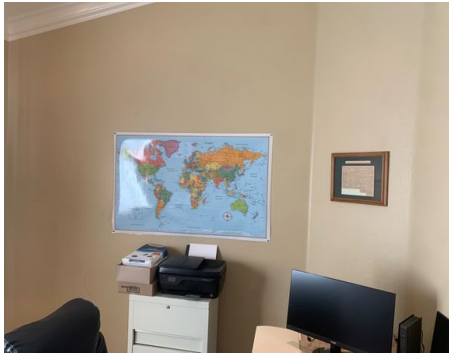
Living Space Room Pictures: Family Room View



Living Space Room Pictures: Dining Room View



Living Space Room Pictures: Office View



Doors: Satisfactory

The interior door(s) in the living areas are functional and in satisfactory condition, unless otherwise specifically noted.

Flooring: Satisfactory

The floor in the living areas is in satisfactory condition unless otherwise specifically noted.

Flooring: Floor Wearing

The floor covering is worn or cosmetically damaged in some areas, which you should view for yourself and correct as desired. It appears it may need to be re-stretched again.

**Walls and Ceiling: Satisfactory**

The walls and ceilings in the livable areas are in acceptable condition, unless otherwise noted.

Windows: Satisfactory

The windows in the livable rooms are in satisfactory and functional condition, unless otherwise noted.

Screens / Shutters / Blinds: Screens / Some Missing

Some of the window screens are missing. Screens are often removed for aesthetic reason, but you may want to have them installed. I recommend asking the seller for more details or if they have them in storage.

Closets: Satisfactory

The closets and interior closet space, in the livable areas of this property, appear to be in satisfactory condition.

Lights / Wall Switches: Ceiling Lights / Satisfactory

The ceiling lights in the livable areas are functional and respond on demand.

Lights / Wall Switches: Wall Switches / Satisfactory

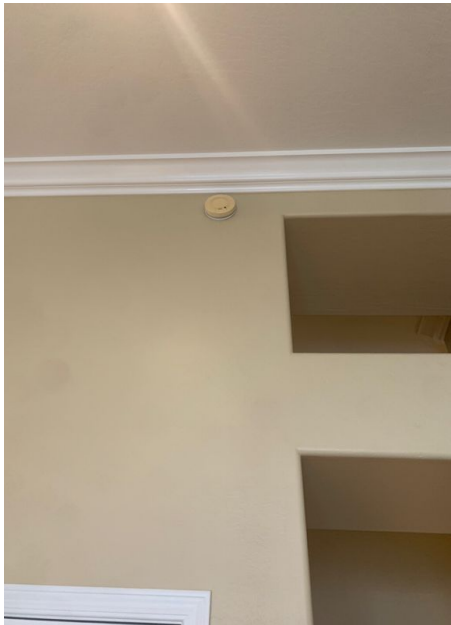
The wall switches in the livable areas are functional and respond on demand.

Outlets / Electrical: Wall Outlets / Satisfactory

The wall outlets in the livable areas were functional and grounded, unless otherwise noted.

Smoke Detectors: Older

The smoke detectors in this residence appear older and may be ready for replacement as a fire safety upgrade. The recommended life span for smoke detectors is approximately ten years. They are generally recommended to be replaced once they reach ten years old.



Limitations

Screens / Shutters / Blinds

BLINDS AND SHUTTERS COMMENT

NOTE: We do not test or evaluate blinds, shutters or any other similar type window treatments, throughout this property. They were not evaluated as part of this inspection service. They are only briefly viewed for access to evaluate windows behind them, regardless if they are temporary or permanent. They also can restrict a clear view of window areas and are only operated so I can access any related windows or doors. I recommend you should view them and determine if you want them serviced as you feel necessary.

Cabinets / Drawers Etc

STORAGE NOTED

Storage in the cabinets restricts a clear evaluation of all areas.

Closets

STORAGE NOTED

There is storage noted in the closets. This restricts a clear view of the interior areas.

Outlets / Electrical

OUTLETS / ACCESS BLOCKED OR RESTRICTED

I was unable to access all outlets in this residence during the inspection due to furniture, storage or personal items. I recommend checking any of these outlets once access is available.

Ceiling Fan

NONE NOTED

There were not any ceiling fans noted in the main residence living areas during the inspection.

Observations

6.7.1 Screens / Shutters / Blinds

BLINDS DAMAGED

FAMILY ROOM

I noticed that one of the blinds is damaged or not properly connected. I recommend service as you feel necessary.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



7: HALLWAYS

Information

Doors: None Noted

There are not any hallway doors.

Windows: Type

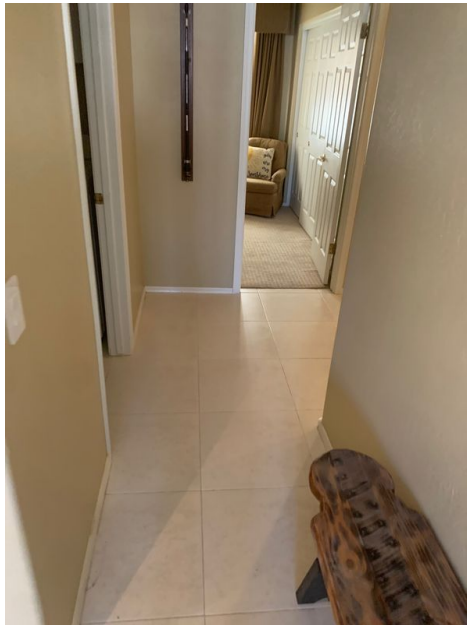
None

**Lights / Wall Switches: Ceiling
Lights / Functional**

The hallway ceiling lights are functional and respond on demand.

**Lights / Wall Switches: Wall
Switches / Functional**

The hallway wall switches are functional and respond on demand.

Hallway Picture: View**Flooring: Satisfactory**

The floor in the hallway is in satisfactory condition unless otherwise specifically noted.

Flooring: Cracks / Floor Tile And Grout

There are minor and typical cracks in the floor tiles or grout lines, which you should view for yourself. They are likely to have been caused by normal settlement, but you may wish to seek the opinion of a specialist; especially if you are concerned or desire more information.



Walls and Ceiling: Satisfactory

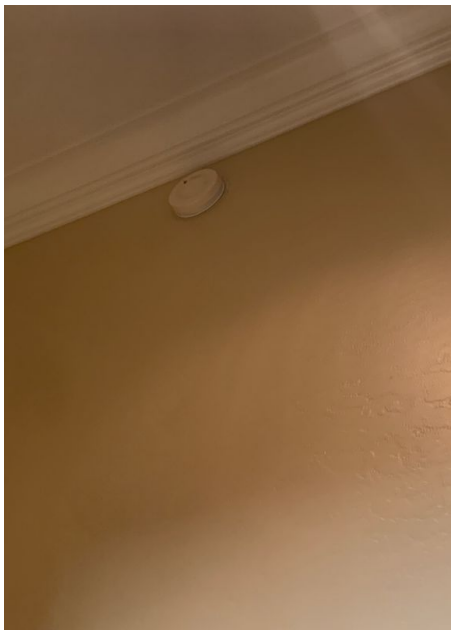
The walls and ceilings in the hallway are in acceptable condition, unless otherwise noted.

Outlets / Electrical: Three Prong / Satisfactory

The outlets in the hallway were functional and grounded, unless otherwise noted.

Smoke Detectors / CO: Older

The smoke detectors in this residence appear older and may be ready for replacement as a fire safety upgrade. The recommended life span for smoke detectors is approximately ten years. They are generally recommended to be replaced once they reach ten years old.



Limitations

Windows

NONE NOTED

There are not any windows located in the hallway areas.

Closet

NONE NOTED

There were not closets.

Cabinets / Drawers / Shelves

NONE NOTED

There are not any permanently installed hallway cabinets, drawers or shelves.

Outlets / Electrical

ACCESS BLOCKED OR RESTRICTED

I was unable to access all outlets in this residence during the inspection due to furniture, storage or personal items. I recommend checking any of these outlets once access is available.



8: ATTIC

Information

Attic Entry: Location

Master Bedroom

Roof Decking/Sheathing: Decking / Sheathing Pictures**Roof Decking/Sheathing: Attic Decking / Sheathing Type**

OSB - Oriented Strand Board

Type of visible wood roof decking.

Insulation: Type

Blown Loose Cellulose, Fiberglass Batts

Type of attic insulation noted at the time of inspection.

Insulation: Satisfactory

The installed attic insulation appears to be in satisfactory condition.

Insulation: Installed Location

Attic Vaulted Walls, Attic Floor

The attic insulation is installed at the noted location(s).

Insulation: Insulation Depth

Satisfactory Batt, 10-12 Inches

Insulation depth noted during the inspection.

Ventilation: Type Noted

Gable Vents, Soffit Vents, Roof Vents

The installed attic ventilation type is noted here.

Vapor Barrier: Vapor Barrier

Visible

Comments regarding the vapor barrier or vapor retarder.

Electrical: Attic Lights / Satisfactory

The attic lights work on demand at the attic switch.

Attic Entry: General Comments

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well and often does obscure water pipes, electrical conduits, junction boxes, exhaust fans, heating and cooling ducts and other components.

Method of Evaluation: Limited Access / Framing Etc Restricts View

Insulation, HVAC ductwork/components and framing position within the attic obscures some of the framework and other items such as the vapor barrier/vapor retarder. Therefore, the attic inspection and its related components within is limited to what is visible.

Common Observations: Limited Attic Access

The evaluation of the attic areas at this residence is limited to visible and readily or easily accessible locations only.

Framing: Framework Pictures



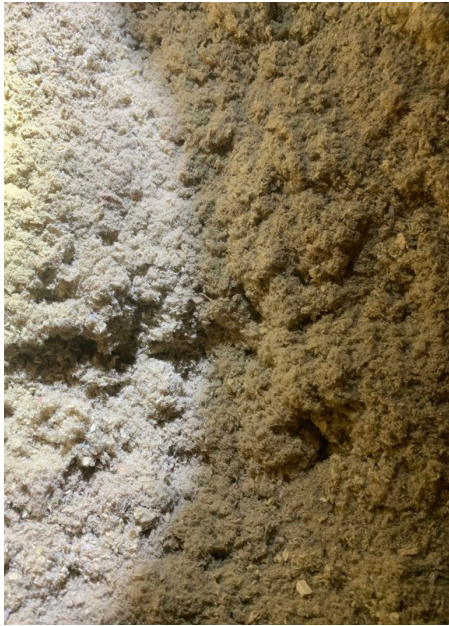
Framing: Factory Wood Truss / Satisfactory

The wood roof framing is in satisfactory condition. The roof framing consists of a factory- built wood truss system, comprised of components called chords, webs, and struts that are connected by metal gussets nailed in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

Roof Decking/Sheathing: Satisfactory

The visible portions of the wood roof decking are in acceptable condition and should conform to the standards of the year in which they were installed.

Insulation: Insulation Pictures



Insulation: Blown Loose Cellulose / 10 inches +

The attic floor is adequately insulated with blown loose cellulose insulation. I observed approximately 10 inches depth in various floor areas, which should provide a minimum insulation rating of R-38. Insulation prevents viewing some attic areas.



Ventilation: Satisfactory

The residence attic ventilation appears satisfactory. Contacting a qualified insulation contractor about having your attic ventilation upgraded could help lower energy costs by cooling down your attic during the warmer summer months.

Vapor Barrier: Visible

There is black tar paper or other paper/material visible at the gable ends. It appears to be in good condition where viewed. Most of the building paper is covered and is not clearly visible, which limits a full evaluation.

Water Pipes: Attic Water Pipes / Satisfactory

The visible portions of the attic water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.

Water Pipes: Fire Sprinkler Pipes / Satisfactory

The visible attic fire sprinkler pipes appear to be in good condition during the inspection. No obvious signs of leaking were noted. They were not tested as part of this inspection service.

Water Pipes: Visible Attic Water Supply Pipes

Polybutylene

Visible type of water supply plumbing visible in the attic during the inspection.

Electrical: Attic Outlets / Satisfactory

The attic outlets are the 3-prong grounded type and in satisfactory condition.

Electrical: Attic Overall Electrical / Satisfactory

The attic electrical components that are easily visible and not covered by insulation appear to be in acceptable condition, unless otherwise noted.

Plumbing Vents: Drainpipe Vents / Satisfactory

The visible plumbing drainpipe vents appear to be in satisfactory condition.

Exhaust Ducts: Satisfactory

The visible portions of the exhaust ducts appear to be functional, unless otherwise noted.

Limitations

Heat Vents

NONE NOTED / ELECTRIC HEAT

There are no heat vents in this attic. Electric heat only.

9: ROOF

Information

Method of Evaluation: Method Used

Walking on its surface

The residence roof and its components were evaluated in this manner.

With Flat Roofed Sections: Flat Roof Locations

Rear, Front

Location(s) of flat roof areas.

General Observations: Underlayment Comment

Felt underlayment lasts approximately 15 to 30 years. If the home is more than 15 years old, or if there was any exposed underlayment, I recommend you should consult a qualified roofing contractor for more detailed information and to determine if service is necessary. I do not lift or move any roof tiles to view the underlayment.

General Observations: No Guarantee Against Leaks

This roof inspection is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification. Further evaluation from a qualified roofer is recommended as you feel necessary.

Roof Age (approximate): Estimated Roof Age

1-5 years

Estimated roof age only. Please ask the seller for more detailed information or contact a qualified roofing contractor for evaluation.

Roof Age (approximate): Roof Newer / Not Original

The roof appears to be newer and is not original. However, this is just an estimate and you should request the installation permit from the sellers. This should reveal its exact age and any warranty or guarantee that might be applicable.

Roof Pictures: Main Roof Covering



Concrete Tile Roof: General Comments

Concrete tile roofs are among the most expensive and durable of all roofs, and are warranted by the manufacturer to last for forty years or more, but are usually only guaranteed against leaks by the installer from three to five years. Like other pitched roofs, they are not designed to be waterproof, only water resistant, and are dependant on the integrity of the waterproof membrane beneath them, which cannot be seen without removing the tiles, but which can be split by movement, deteriorated through time, or by ultra-violet contamination. Significantly, although there is some leeway in installation specifications, the type and quality of membranes that are installed can vary from one installer to another, and leaks do occur. The majority of leaks result when a roof has not been well maintained or kept clean, and we recommend servicing them annually.

Concrete Tile Roof: Satisfactory

The concrete tile roof covering is in acceptable overall condition unless otherwise specifically noted. This is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification. Further evaluation from a qualified roofer is still recommended for more information about your roof, including maintenance tips and advise.

Flashings: Satisfactory

The roof flashings are in acceptable condition where viewed. They appear to consist of metal flashing around roof penetrations and in valleys.

Drainage & Gutters: Roof Drainage / Satisfactory

Roof drainage on this residence appears to be satisfactory, unless otherwise noted.

With Flat Roofed Sections: Type

Composition Rolled Roof

Type of covered patio roof(s) on the property.



With Flat Roofed Sections: Satisfactory

The patio roof includes a flat-roofed section that is in satisfactory condition. Flat roofs can be problematic if they are not kept clean. Water ponds on most of them, particularly along the leading edges, and will only be dispersed by evaporation. Therefore they must be kept clean and inspected regularly.

Limitations

Drainage & Gutters

NO GUTTERS NOTED

There are not any gutters installed on this property. Adding gutters would be an upgrade to help direct water away from the foundation.

Skylights

NONE NOTED

There are not any skylights present .

Observations

9.5.1 Concrete Tile Roof

CRACKED ROOF TILES



Unsatisfactory Item

I noted only one cracked roof tile that should be evaluated and repaired or replaced as necessary by a qualified contractor. This tile should be repaired to help prevent wearing of the protective layer beneath the roof covering or possible moisture intrusion within the residence.

Recommendation

Contact a qualified roofing professional.



Over master bathroom

9.8.1 With Flat Roofed Sections
CLEAR FLAT ROOF OF DEBRIS
ON THE SIDE OF THE FRONT ENTRANCE

 Unsatisfactory Item

The flat roof needs to be cleared of any tree debris such as leaves/sticks etc. This build-up can restrict drainage and lead to moisture intrusion and moisture damage if not corrected. The roof should then be reevaluated. once properly cleared of debris, and serviced if determined necessary. Further evaluation of this roof is recommended for service as necessary.

Recommendation
Contact a qualified roofing professional.



9.8.2 With Flat Roofed Sections
RAISED EDGES
REAR PATIO

 Unsatisfactory Item

There are two areas on the composition rolled roofing that are raised or lifted up near the corner. These spots should be evaluated by a qualified contractor and sealed to prevent moisture intrusion issues.

Recommendation
Contact a qualified professional.



10: LAUNDRY

Information

Laundry Room / View: Picture



Windows: Type

None

Outlets / Electrical: No GFI Noted

The laundry room outlets are not ground fault protected.

Exhaust Fan: Functional

The laundry exhaust fan was functional and responds on demand.

Laundry Room / View: In Hallway

The laundry facilities for this residence are located in the hallway.

Lights / Wall Switches: Ceiling Lights / Functional

The laundry ceiling lights are functional and respond on demand.

Outlets / Electrical: GFI Outlet Resets In

No GFI Protection Noted
GFI Reset Location

Dryer Vent: Vents Up and Out

The laundry room dryer vent goes up and out through the roof or upper wall.

Trap & Drain: No Visible Floor Drain

There was not a visible floor drain noted in the laundry room.

Lights / Wall Switches: Wall Switches / Functional

The wall switches are functional and respond on demand.

Cabinets / Drawers / Shelves: Cabinets / Satisfactory

The cabinets are satisfactory.

Washer & Dryer: Picture / Not Evaluated

There is a washing machine and/or dryer present during the inspection. Washing machines and dryers are not evaluated as part of this inspection service. We do not turn them on or test any cycles. We do not disconnect washing machines supply lines to check for leaking. We recommend evaluating these appliances yourself and/or having a qualified contractor further evaluate them as you feel necessary.



Valves & Connectors: Washer / Connected / Satisfactory

The washing machine valves and connectors appear functional but were not tested. No leaking was noted. However, because they are not in daily use they typically become stiff or frozen.



Valves & Connectors: Metal Braided Hose Recommendation

The water supply to washing machines is commonly left on, and the rubber hoses that are commonly used to supply water to them often become stressed and can leak or burst. For this reason we recommend replacing all washing machine rubber supply hoses with metal-braided ones that are more resilient.

Valves & Connectors: Gate Valve Comment

The washing machine valves are older gate style valves. These valves are prone to failing and leaking as they age, especially if they are older. Since washing machine valves are rarely used, I recommend using caution when turning them on or off, as leaking may occur. To avoid possible leaking or valve failure, I recommend replacing these gate valves with newer ones.

Trap & Drain: Washing Machine Drain Line / Not Visible

The washing machine drain line appears satisfactory but is not visible because it's behind or within the wall. I was unable to evaluate it as part of this inspection.

Doors: Satisfactory

The door(s) in the laundry room are functional and in satisfactory condition, unless otherwise specifically noted.

Flooring: Satisfactory

The visible floor in the laundry room is in satisfactory condition unless otherwise specifically noted.

Walls and Ceiling: Satisfactory

The visible walls and ceilings in the laundry room are in acceptable condition, unless otherwise noted.

220 Volt Receptacle: In Use / Power Verified

The 220 volt receptacle for the dryer is in use and power supply was verified at the outlet. I recommend you should evaluate this outlet style to be sure the dryer you plan on using here is compatible with it.

Dryer Vent: Dryer Vent / Satisfactory

The visible dryer vent connection appears correct. NOTE: Faulty dryer vents have been responsible for thousands of fires, hundreds of injuries, and even deaths. The best vents are a smooth-walled metal type that travels a short distance; all other types should be regarded as suspect, and should be inspected bi-annually to ensure that they do not contain trapped lint or moisture. We do not evaluate the interior condition of dryer exhaust vents.

Limitations

Sink & Faucet

NONE NOTED

There is not a laundry sink.

Windows

NONE NOTED

There are not any windows in this laundry room.

Cabinets / Drawers / Shelves

CABINETS / STORAGE RESTRICTS VIEWING

Storage in the cabinets restricts viewing. I recommend checking the cabinets again once the storage is removed. It is possible for storage to hide damage or moisture stains that would have been visible during the inspection.

Closet

NONE NOTED

There is not a closet.

Gas Valve & Connector

NONE NOTED

There is not a visible gas supply line.

Ceiling Fan

NONE NOTED

There is not a ceiling fan.

11: GARAGE

Information

Picture Of Garage / Size: View

Two Car Garage

The garage and its components were evaluated.



Walls and Ceiling: Type

Drywall

Garage Side Door: Type

None Noted

Garage Doors & Hardware: Type of Door

Sectional

Type of garage door(s).

Garage Doors & Hardware: Seals

Satisfactory

The garage door seals are in acceptable condition.

Garage Doors & Hardware: Hinges

Satisfactory

The garage door(s) hinges are in acceptable condition.

Garage Doors & Hardware: Rollers Automatic Openers: Picture

Satisfactory

The garage rollers appear to be in acceptable condition.



Cabinets / Drawers / Shelves:

Cabinets / Satisfactory

The cabinets are satisfactory and in good condition.

Cabinets / Drawers / Shelves: Shelves / Satisfactory

The shelves are satisfactory and in good condition.

Windows: Type

None

Outlets / Electrical: GFCI / Reset Location

Master Bathroom

Location of GFCI reset.

**Lights / Wall Switches: Ceiling
Lights / Functional**

The garage ceiling lights are functional and respond on demand.

**Lights / Wall Switches: Wall
Switches / Functional**

The garage wall switches are functional and respond on demand.

Slab Floor: Satisfactory

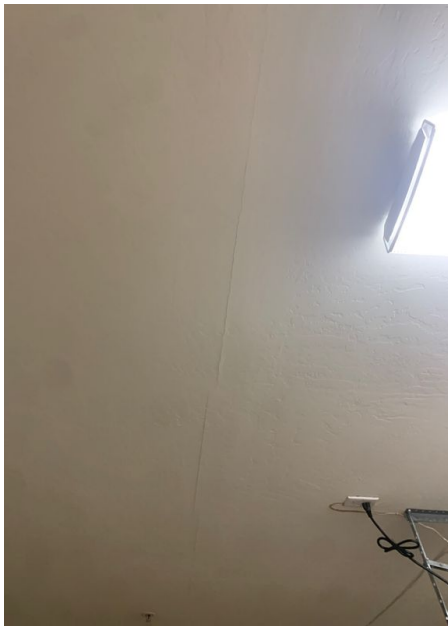
The visible garage slab floor areas are in satisfactory condition. Small floor cracks are common and often result as a consequence of the curing process or common settling, but are not considered to be structurally threatening.

Walls and Ceiling: Satisfactory

The garage walls and ceilings are in acceptable condition, unless otherwise noted.

Walls and Ceiling: Typical Settlement Cracking Noted

There are typical and minor settlement type cracking noted on some walls and ceilings.



Entry Door Into the House: Satisfactory

The garage to house entry door is a solid core door, or fire-rated type that self-closes in conformance with fire-safety regulations.

Garage Doors & Hardware: Vehicle Door(s)

Satisfactory

The sectional garage door(s) and its hardware are functional and worked properly at the time of the inspection.

Garage Doors & Hardware: Minor Door Damage Noted

There are small areas of cosmetic type damage to the sectional garage door. These areas are not affecting the operation of the door. I recommend further evaluation as you feel necessary.



Automatic Openers: Satisfactory / One

The automatic garage door opener is functional and will reverse when obstructed at the safety lights and when met with reasonable resistance during closing.

Cabinets / Drawers / Shelves: Obvious Wear/Damage Noted

There is obvious wearing and minor damage to the cabinets, drawers and shelves in the garage. I recommend having them serviced as you feel necessary.

**Firewall Separation: Satisfactory / Most**

Most of the garage firewall separating the garage from the residence appears functional and in good condition. The hole in the ceiling should be repaired.

**Outlets / Electrical: Outlets / GFCI / Satisfactory**

The accessible garage wall outlets are functional and include ground fault protection for safety reasons, unless otherwise noted.

Lights / Wall Switches: Garage Door Opener Light / Functional

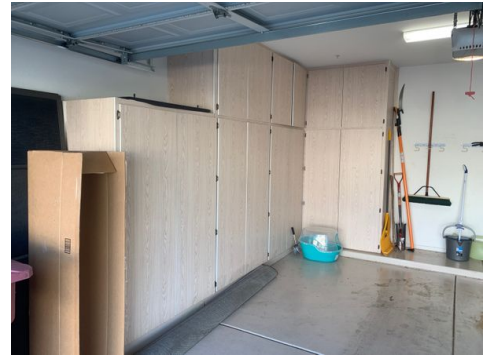
The light on the automatic garage door opener is functional and responds on demand.

Limitations

Parking Space

CABINET RESTRICTION

Cabinets located in the garage will restrict the interior garage parking space somewhat. I recommend you should view this for yourself and determine if service is needed.



Garage Side Door

NONE NOTED

There is not a garage side door.

Windows

NONE NOTED

There are not any windows in this garage.

Ventilation Ports

NONE

There are no ventilation ports in the garage exterior walls to vent exhaust fumes outside. Therefore, vehicle engines should not be left running with the garage door closed, otherwise carbon monoxide poisoning could result.

Ceiling Fan

NONE NOTED

No ceiling fan noted.

Observations

11.4.1 Walls and Ceiling

CEILING / MOISTURE STAINING



Unsatisfactory Item

There are moisture stains on the garage ceiling that should be further evaluated and serviced as necessary. I recommend at least locating and correcting the leak source and repairing affected areas as necessary. These areas were not soft or wet to the touch during the inspection.

Recommendation

Contact a qualified professional.



11.4.2 Walls and Ceiling

WALL / MOISTURE STAINING

INSIDE CABINET

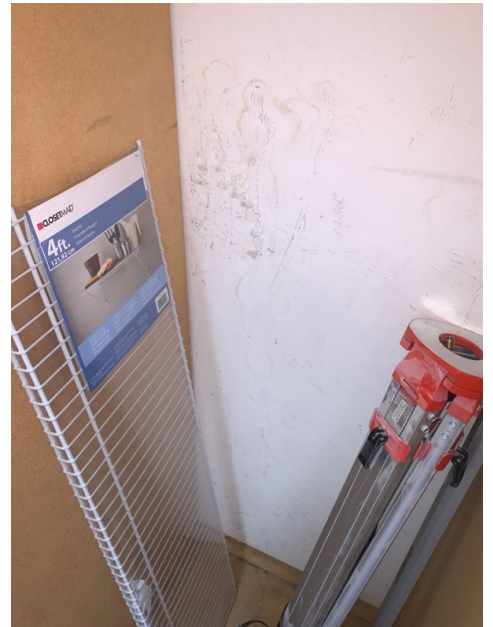
There are moisture stains on the wall areas in the garage that should be further evaluated and serviced as necessary. (It looks to be possible mops that were stored in the cabinet) I recommend at least locating and correcting the leak source and repairing affected areas as necessary. These areas were not soft or wet to the touch during the inspection.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



11.4.3 Walls and Ceiling

WALL / MOISTURE STAINING / WATER HEATER

There are moisture stains on the walls, specifically near the water heater, that should be further evaluated and serviced as necessary. Likely from a previous water heater leak? I recommend at least locating and correcting the leak source and repairing affected areas as necessary. These areas were not soft or wet to the touch during the inspection.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



11.8.1 Automatic Openers

CHAIN OR BELT / LOOSE

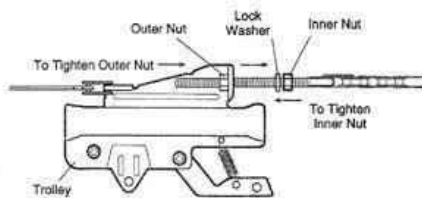


Unsatisfactory Item

The garage chain or belt drive for the automatic opener is loose and should be serviced as necessary by a qualified contractor.

Recommendation

Contact a qualified garage door contractor.



Tighten Garage door chain or belt



11.14.1 Lights / Wall Switches

OPENER LIGHT / NO RESPONSE



Unsatisfactory Item

The garage ceiling light, at the automatic garage door opener, does not respond and should be demonstrated or serviced as necessary. Maybe a bad bulb?

Recommendation

Contact a qualified professional.



12: PLUMBING

Information

City Water Meter: City Water Meter-Picture



City Water Meter: City Water Meter Location

Front

Location of the city water meter.

House Water Shut-Off Valve / Supply: Picture

Picture of the main house water shut-off valve.



House Water Shut-Off Valve / Supply: Valve Type

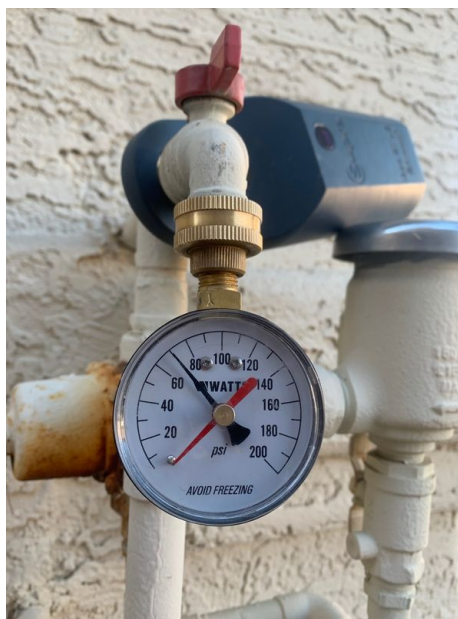
Ball Valve

Type of main water supply shut-off valve located at the property.

Water Supply Pressure: Water Supply Pressure / Picture

70 psi

Huru



Water Supply Pressure: Water Pressure Regulator / As Noted

Water Pressure Regulator Noted

General Gas Components: Main Observations

No Gas Onsite

The gas main/meter supply is either on or off as noted.

General Gas Components: Main Shut-off Location

None

Electric Water Heater: Location

Garage

Electric Water Heater: Year Built

2016

Electric Water Heater: Capacity / Gallons

40

Electric Water Heater: Fuel Source Type

Electric

Electric Water Heater: Thermal Expansion Tank

None

Polybutylene Water Pipes: Copper Valve Stems Noted

Copper valve stems were noted beneath sinks and toilets.

Supply Plumbing Type

Copper, Polybutylene

Supply plumbing type as noted.

Pipe Insulation / Supports: Water Supply Line Supports

Not Visible

Water supply piping supports viewed as noted.

Hose Bibs: Type

NONE / Anti-Siphon Valves Not Noted

Waste and Drainage Systems: Clean Out Location / Picture

Wall Cleanouts, Front Yard

Location of the plumbing drain clean outs.

**Waste and Drainage Systems: Type Of Material**

ABS / Acrylonitrile Butadiene Styrene

Irrigation: Type / Pictures

Drip System, Sprinkler System, Not Tested - Occupied House

Pictures of irrigation valves and related components.

Soft Water System: Soft Water System / Location

Garage

Recirculating System: Location

None

City Water Meter: City Water Meter / Satisfactory

All three street or city water meters were observed for a short while, with no water was running on the property. The meter or dial was not spinning or moving, or the digital display reads 0.00. This is a good indication of no water leaking underground between the water meter and residence. However, this is not an exact determination and further evaluation may be necessary if you desire more detailed information or are concerned about the possibility of an underground water leak. Following up with the water company is a good idea so you are aware of potential normal water usage at this residence. I recommend getting an emergency water or plumbers key from a hardware store in case of emergency so you can easy shut off this meter if needed.

House Water Shut-Off Valve / Supply: Valve Location

Left side

Location of the house water shut-off valve. This valve appears to be in satisfactory and functional condition, unless noted otherwise.

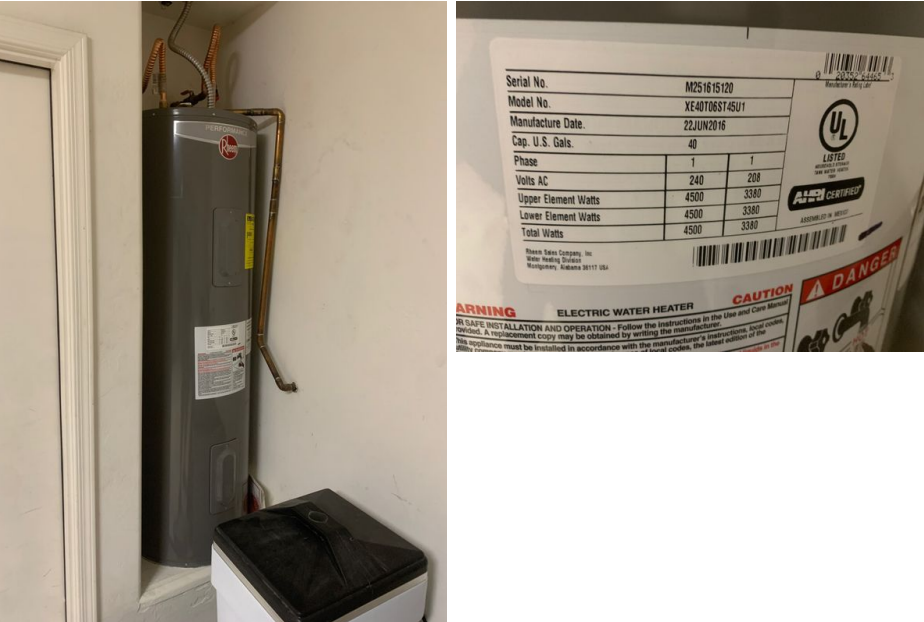
Water Supply Pressure: Water Pressure / Satisfactory

The water pressure to the residence, and from the street, was within industry standards; usually between 40 and 80 psi and a water pressure regulator is not required on the water supply plumbing system at this pressure.

Older Home Plumbing Comments: Older Drain Line Comment

NOTE: The underground sewer and/or drain lines were NOT video scanned or otherwise visually evaluated as part of this home inspection service. Underground pipes and pipes within walls, floors and ceilings are considered outside the scope of a home inspection. These drain lines were only tested for functional drainage by running water in sinks, tubs, showers and toilets etc. It is very common and typical for older property drain lines to have tree and plant roots in them or to become cracked or otherwise damaged over time. They can also be damaged and not noticed as part of a typical home inspection. These drain pipes can also consist of older material that is no longer in use (cast iron, Orangeburg, clay etc). Further evaluation of these drain lines is highly recommended by contacting a qualified contractor or plumber who can complete this for you, within the inspection period or at least before you close or take possession of the property.

Electric Water Heater: Picture of Unit & Label



Electric Water Heater: Hot Water Temperature Noted

116 - 120

The residence hot water heater water temperature was noted as satisfactory during the home inspection. Hot water temperature supply was verified at all sinks, tubs, showers etc; unless otherwise noted. The hot water temperature is recommended to be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees Fahrenheit to prevent scalding. Hot water temperature can also be raised or lowered as desired at the water heater.



Electric Water Heater: Manufacturer

Rheem

I recommend flushing and servicing your water heater tank annually for optimal performance. Contacting a qualified contractor for more detailed information is also recommended as you feel necessary.

[Here is a nice maintenance guide from Lowe's to help.](#)

Electric Water Heater: Water Shut-Off Valve Condition

Satisfactory, Ball Valve

The shut-off valve on a water heater should be functional and move freely and easily to turn off water supply if necessary.

Electric Water Heater: Water Connectors Condition

Satisfactory

The water supply connectors on a water heater should be free of any mineral build up and have no signs of leaking.

Electric Water Heater: TPR Relief Valve & Discharge Pipe Condition

Satisfactory

The water heater should be equipped with a mandated pressure-temperature relief valve and acceptable discharge pipe to the exterior.

Electric Water Heater: Drain Valve Condition

Satisfactory

The drain valve is in place and presumed to be functional. I did not test it as part of this inspection service.

Electric Water Heater: Drain Pan & Discharge Pipe

No Drain Pan or Drain Pipe

Water heaters are recommended to be equipped with a drain pan and discharge pipe to the exterior, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak.

Polybutylene Water Pipes: Polybutylene Pipes / Functional Flow Noted

The water supply pipes in this residence appear to include Polybutylene pipes. Functional water flow or supply was noted.

Satisfactory / Functional Flow

The water supply plumbing lines for this residence appear to be in satisfactory condition, where visible. Functional water flow was verified. Unless otherwise indicated.

Pipe Insulation / Supports: Attic Pipe Insulation

Attic Floor Insulation

The visible sections of the residence water supply piping in the attic appear to be insulated as noted.

Pipe Insulation / Supports: Attic Pipes Not Insulated

There are sections of un-insulated water supply pipes in the attic, which can be subject to temperature variations because they are in a non-temperature controlled environment. I recommend consulting a qualified plumber if you desire more information or service.



Hose Bibs: Satisfactory

The property hose bibs that were visible and accessible are functional, unless otherwise noted. All hose bibs on the property may not have been located and tested during the inspection. Hose bibs are recommended to have anti-siphon valves installed. These are relatively inexpensive valves and are required by current standards.

Waste and Drainage Systems: General Comments / Sewer Lines & Drain Lines

I attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line by a qualified contractor would confirm its actual condition: (Note, we DO NOT provide this service). However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

NOTE: The underground sewer or drain lines were not video scanned or otherwise visually evaluated as part of this home inspection service. They are considered outside the scope of a home inspection. These drain lines were tested for functional drainage by running water in sinks, tubs, showers and toilets only. If you require further evaluation of these drain lines, I recommend contacting a qualified contractor or plumber who can complete this for you.

Waste and Drainage Systems: Drainpipes / Functional Drainage Noted

Based on industry recommended water tests, the drainpipes are functional and acceptable at this time and functional drainage was noted. Bathtubs, showers sinks etc were drained during the inspection to check for drainage issues.

Waste and Drainage Systems: City Sewer System

This residence appears to be on the city sewer system. However, this was not verified as part of the inspection service. Only a video-scan of the main drainpipe, by a qualified contractor, could confirm its actual condition and if this is a sewer or septic system. This service is recommended within the inspection period and before you take possession of the property.

Irrigation: General Comments

Irrigation systems and their components are considered outside the scope of home inspections per the Arizona Standards of Professional Practice for Home Inspectors. However, we believe it is in the best interest of our clients to provide a brief overview of them and to test them as we feel necessary for basic operation. Please contact a qualified contractor for more detailed information before you take possession of the property and if you have any concerns with the irrigation system.

There are a wide variety of irrigation components, such as pipes that could include old galvanized ones, more dependable copper ones, and modern polyvinyl ones that are commonly referred to as PVC. The quality can range and it is not uncommon to find a mixture of them. To complicate matters, significant portions of these pipes cannot be examined because they are buried. Therefore, we identify a system based on what type of pipe that can be seen. This inspection only includes the visible portions of the system, and we do not test each component, nor search below vegetation for any concealed hose bibs, actuators, risers, or drip heads. Because the actuators are under pressure, we look for any evidence of damage or leakage, but recommend that you have the sellers demonstrate any automatic sprinkler system before the close of escrow and indicate any seasonal changes that they may make to the program. Further review from a qualified landscape professional may be required and is recommended for further review before the close of escrow.



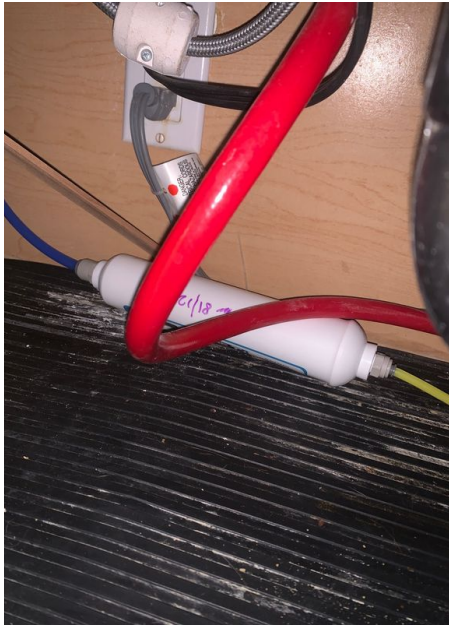
Irrigation: Not Tested / Occupied House

I did not test the property irrigation system as part of this inspection. Irrigation valves can fail at times when they are manually tested. The property irrigation and lawn appears healthy or green and growing. I recommend further evaluation from a qualified contractor for more detailed information or service if you feel necessary. I also recommend asking the seller for a demonstration of the irrigation system.

Water Filter: Not Evaluated

Not Evaluated

The water filter system on the property was not evaluated as part of this inspection service. I recommend further evaluation as you feel necessary.



Soft Water System: Picture



Soft Water System: Installed / Not Evaluated

Water treatment systems such as soft water systems were not evaluated during this inspection. They were viewed for obvious signs of leaking and damage only. I recommend contacting the manufacturer or a qualified contractor for more information, demonstration or further review.

Reverse Osmosis System: Not Evaluated

None Noted

Water treatment systems such as reverse osmosis water systems and water filters were not evaluated during this inspection. They were viewed for obvious signs of leaking and damage only. I recommend contacting the manufacturer or a qualified contractor for more information, demonstration or further review.

Fire Suppression System: Comment / Onsite

The residence is equipped with fire sprinklers, which I am not qualified to evaluate and specifically disclaim in our contract. These systems require annual maintenance and upkeep just like any other plumbing system will. Therefore, you are recommended to have the system properly evaluated by a qualified fire sprinkler contractor or the local fire department as necessary and certified as being functional as an important fire safety feature. However, there were no signs of active leaking noted.



Limitations

General Gas Components

NO NATURAL GAS SUPPLY ONSITE

There does not appear to be natural gas supply on this property during the inspection. I recommend asking the seller about this for more detailed information. You can also contact the local gas company to inquire about gas service at this property.

Recirculating System

NONE NOTED

There is not a visible hot water recirculating pump installed in this residence. Commonly located at the water heater.

Observations

12.3.1 Water Supply Pressure

PRESSURE REGULATOR / LEAKING

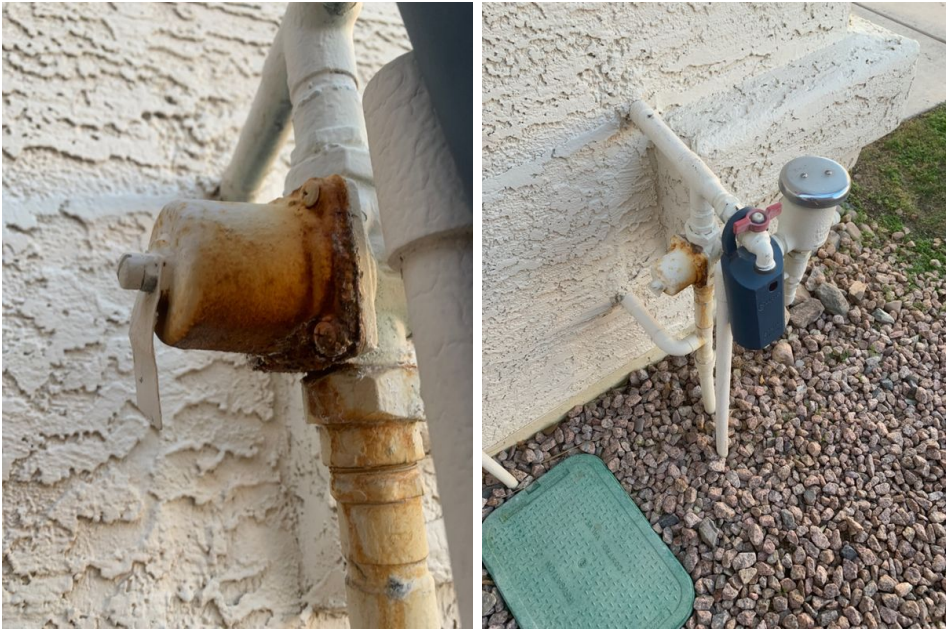


Unsatisfactory Item

The water pressure regulator is leaking and should be further evaluated by a qualified contractor for service or replacement as determined necessary.

Recommendation

Contact a qualified plumbing contractor.



12.7.1 Polybutylene Water Pipes

POLYBUTYLENE PIPES NOTED

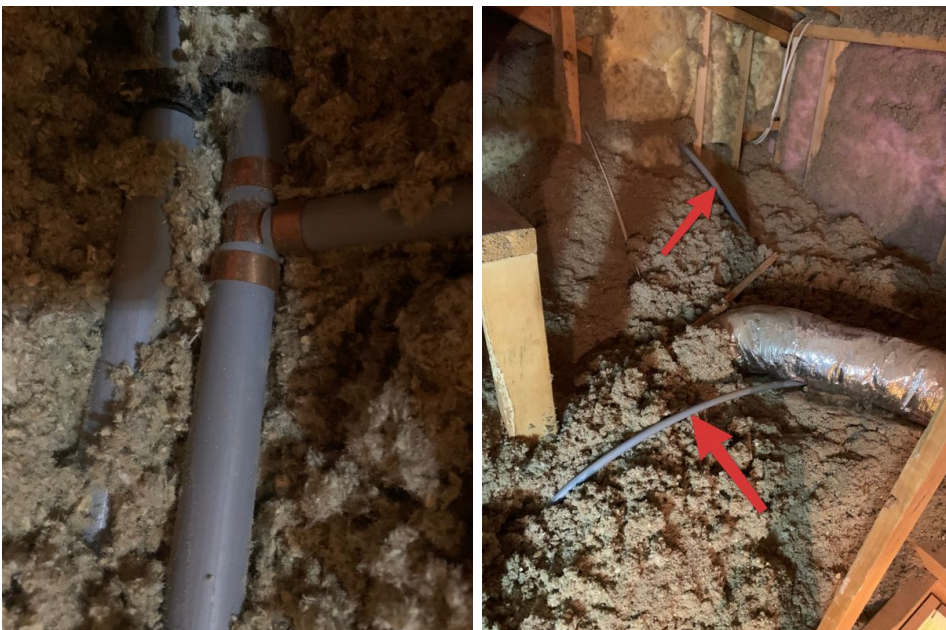


Unsatisfactory Item

The water supply system in this home utilizes plastic Polybutylene Piping (PB). Millions of residential homes have used PB throughout the United States, commonly installed in homes between 1978 and 1995. Easily recognizable as flexible, gray, plastic pipes which include metal fittings that are connected by copper bands. The buyer should be aware of the past problems related to this type of plumbing supply system. There have been thousands of documented failures with the fittings of these pipes, as well as other related leaks and problems associated with PB piping resulting in hundreds of class action lawsuits. Our visual inspection of this plumbing system noted no leaks at the time of inspection nor any signs of repairs or upgrades, unless otherwise noted. This inspection is not a warranty or guarantee against future leaks or failures as inspectors cannot predict future leaks or failures with a visual inspection. **I recommend further evaluation and review of the entire plumbing system, from a qualified contractor, to evaluate and determine if service is necessary. This should be completed within the inspection period and BEFORE you take possession of the property.**

Recommendation

Contact a qualified professional.



12.9.1 Hose Bibs

NO ANTI-SIPHON VALVES

The hose bibs do not include anti-siphon valves. These valves are relatively inexpensive and are required by current standards. However, I may not have located and tested every hose bib on the property.

Recommendation

Contact a qualified handyman.



Unsatisfactory Item



Anti Siphon



Front



Rear

12.11.1 Irrigation

SPRINKLERS OVER-SPRAYING ONTO THE HOUSE

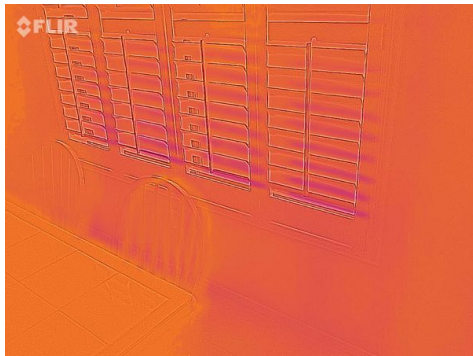
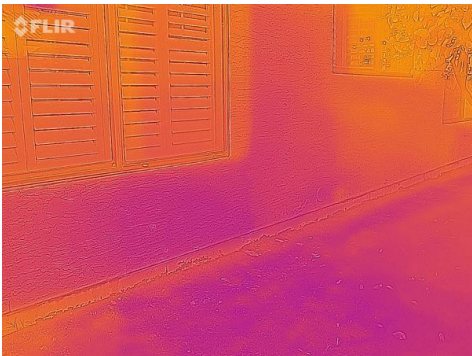
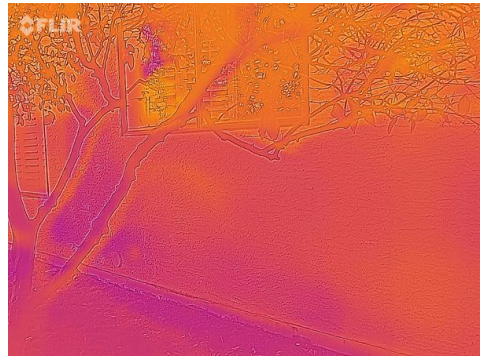
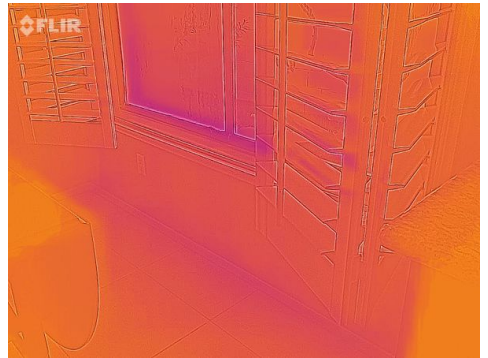
The lawn sprinklers are over-spraying onto the house walls and should be serviced. This is important to help prevent moisture intrusion and moisture damage issues. It has damaged two window, a small section of weep screed and rusted the bracket for the rear patio column. I recommend further evaluation and service as necessary from a qualified contractor.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



12.13.1 Soft Water System

CORROSION NOTED / WATER LINE

There is corrosion around a water line at the soft water system. This needs further review and service if determined by necessary from a qualified contractor.



Unsatisfactory Item

Recommendation
Contact a qualified professional.



12.16.1 Fire Suppression System

FIRE SPRINKLER / DISPLACED HEAD

HALLWAY BATHROOM

A fire sprinkler head is slightly displaced or pulling away from the ceiling. It no longer sits flush up against the ceiling. This indicates a possible issue with the sprinkler head. I recommend further evaluation from a qualified contractor for more detailed information and service if necessary.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



12.16.2 Fire Suppression System

SPRINKLER SYSTEM / YEARLY EVALUATION

Manufacturers and installers of fire protection systems indicate them to be inspected and tested annually by a contractor licensed by the State of Arizona who has a current business certificate issued by the Phoenix Fire Department to work on the particular fire protection system being inspected or tested. The current tag indicates 1992 or the date of installation as the last inspection of this fire sprinkler system. I recommend servicing and evaluation as you feel necessary.



Unsatisfactory Item



Recommendation

Contact a qualified professional.

13: MAIN ELECTRICAL PANEL

Information

Panel Size & Location: Location on House

Left Side

Panel Size & Location: Manufacturer

Crouse-Hinds

Service Conductor: Type

Copper Wire

Type of service conductor material.



Service Conductor: Satisfactory

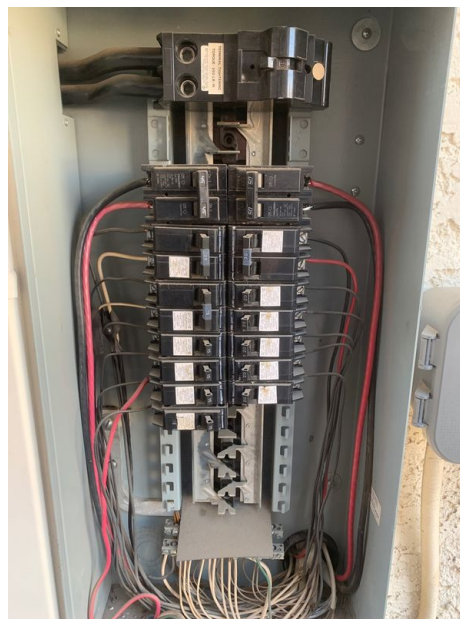
The service conductor is in satisfactory condition.

Wiring Observations: Visible Branch Wiring / Type / Picture

Copper

Wiring Observations:

=====ALUMINUM



Wiring Observations: Aluminum Wiring / Larger Circuits

A/C Unit(s), Range

Breakers with larger or thicker aluminum wiring noted.

Panel Cover Observations: Exterior Cover / Acceptable

The exterior panel cover is in acceptable condition.

Panel Cover Observations: Interior Cover / Acceptable

The interior panel cover is in acceptable condition.

Grounding: Grounding Location

Not visible

Panel Size & Location: Picture / Manufacturer Label



Panel Size & Location: Amperage

Unable to Determine

Service size as noted per manufacturer label if visible. Specialized testing equipment was not used to verify this.

Main Panel Observations: Low Voltage Components / Not Evaluated

Any low voltage components in this residence were not evaluated as part of the inspection. Such as low voltage components, wall jacks, wiring for speakers, cable, alarm systems, internet etc. I recommend contacting a qualified contractor for more detailed evaluation as you feel necessary.



Main Panel Observations: Mostly Ok / Issues Noted

At the time of the inspection, the Inspector observed few deficiencies in the condition of the electrical system. Notable exceptions will be listed in this report.

Service Entrance: Service Entrance Type

Underground/Lateral

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems however is that the national electrical code [NEC] is not retroactive, and therefore many residential systems do not comply with the latest safety standards. For example, many homes built during and before the 1970's may have aluminum wiring including in the house electrical system. Aluminum wiring during this time has been known to cause problems. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. It would be prudent to have a qualified electrician evaluate the entire electrical system in your home if it was built in or before the 1970's. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades for which we would disclaim any further responsibility. However, we typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground fault circuit interrupters and, generally speaking, have been required in specific locations for more than thirty years, beginning with swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993, and all kitchen countertop outlets with the exception of refrigerator and freezer outlets since 1996. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. However, inasmuch as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

Service Entrance: Underground / Satisfactory

The main conductor lines are underground or lateral service and in satisfactory condition. This is a characteristic of modern electrical services, but because the service lines are underground, and cannot be seen, they are not evaluated as part of this inspection service. I recommend contacting a qualified contractor for more detailed information or as you feel necessary.

Circuit Breakers: Satisfactory

There are no visible deficiencies with the circuit breakers. Unless otherwise noted.



Circuit Breakers: Main Disconnect / Satisfactory

The main electrical breaker disconnect appears to be in satisfactory condition.

Wiring Observations: Satisfactory

The visible electrical wiring appears to be in satisfactory condition, unless otherwise noted.

Limitations

Circuit Breakers

NO ARC FAULT BREAKERS

There are not any arc fault breakers included with this electrical panel breaker system.

Circuit Breakers

BREAKERS OTHER THAN MANUFACTURER

One or more breakers within this panel were made by other manufacturers. Replacement of these breakers, with the same manufacturer and type as indicated on the manufacturer label, is recommended.



Grounding

UNABLE TO LOCATE

I was unable to determine the point at which the main electrical system is grounded. Typically, this ground is on a water pipe located at the main, at a water heater, a hose bib, UFER ground, grounding rod or gas line, but I could not find it at any of these locations. Therefore, you should ask the seller for more information or have it located by a qualified contractor.

Observations

13.6.1 Wiring Observations

DOUBLE TAPPED WIRES / NOTED

There are double tapped wires (two wires in one connection) inside the breaker panel box. This makes it possible to overload the wires. This should be further evaluated by a qualified contractor for service as determined necessary.

Recommendation

Contact a qualified professional.



14: HVAC / HEATING & COOLING SYSTEMS

Information

HVAC System Info: HVAC System / Type

Heat Pump Split System(s)

Type of HVAC system(s) located onsite.

HVAC System Info: Number of HVAC Systems Onsite

1

Number of HVAC systems onsite during the inspection.

HVAC System Info: HVAC Component(s) Location

Condensing Coil(s) Outside On Ground, Air Handler/Furnace(s) In Attic

HVAC System Info: HVAC System Locations

Main Residence

Condensing Coils Age/Data: Satisfactory

The condensing coil(s) respond to the thermostat and are functional.

Condensing Coils Age/Data: Year Built

2016

Condensing Coils Age/Data: Total Combined HVAC Tons Onsite

3.5 Tons

Condensing Coils Age/Data: HVAC Manufacturer / Brand

Trane

Air Handler or Furnace / Age & Data: Year Built

2016

Air Handler or Furnace / Age & Data: HVAC Manufacturer / Brand

Trane

Return-Air Compartment / Filter: Location

Hallway Wall

Location of the return air vents.

Cooling Differential Temperature Readings: Air Return Temperatures - Acceptable

Air return temperatures for this residence were noted as acceptable.

Cooling Differential Temperature Readings: Air Supply Temperatures - Acceptable

Air supply temperatures for this residence were noted as acceptable.

Heating Differential Temperature Readings: Air Return Temperatures - Acceptable

Air return temperatures for this residence were noted as acceptable.

Heating Differential Temperature Readings: Air Supply Temperatures - Acceptable

Air supply temperatures for this residence were noted as acceptable.

Thermostats: Location

Hallway

Thermostats were noted in these locations.

Condensate Drainpipe: Drainpipe / Satisfactory

The condensate drainpipe discharges correctly outside the residence.

Condensate Drainpipe: Drains To:

Outside Residence
The condensate drain pipe(s) properly discharge at the noted location.

Registers: Satisfactory

The air supply registers are functional and reasonably clean.

HVAC Comments: General Comment

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, or within the inspection period if possible, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee. Having the heating and cooling system fully evaluated by a qualified HVAC contractor, especially before you take possession of this property, and at least annually is recommended, regardless of its condition, because we rely heavily on these systems during the warmer months and summer months in Arizona.

HVAC Comments: Cooling and Heating Verified in Each Room

Cooling and heating presence was verified as noted in each room of this residence, unless otherwise noted.

HVAC Comments: Further HVAC Review Is Recommended

Further review of the heating and cooling system is recommended from a qualified HVAC contractor for more detailed information, regardless of the HVAC system condition during the inspection. This further review is important because we rely on these units almost non-stop in the hot summer months and very often in the warmer months before and after the summer. It is also critical to have the entire HVAC system evaluated, before you take possession of the property, if it has not been used for an extended period of time (such as an unoccupied or vacant property) or if they appear to be in disrepair and in need of service. Review from a qualified HVAC contractor or HVAC specialist is recommended to overview the system and check it for possible repairs, service or upgrades that are beyond the scope of this generalist home inspection.

Fuel Source: Electric Heat / Electric Cooling

The fuel supply source onsite for the HVAC system(s) includes electric heat and electric cooling.

Refrigerant Type: Refrigerant Type

R-410A

Type of refrigerant type as visible or as noted on the HVAC manufacturer label. Further evaluation may be necessary from a qualified contractor to accurately determine or verify this.

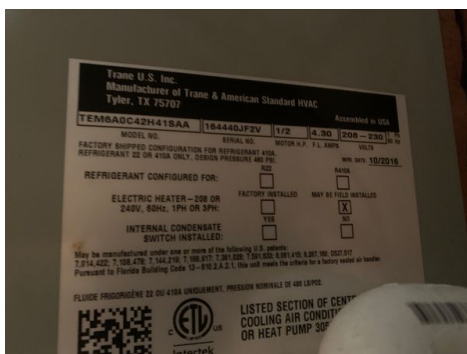
Age Observations: HVAC / Newer and Functional

The HVAC system(s) are newer. Such systems are designed to last approximately twenty years, but they should be serviced bi-annually and have their filters changed every two to three months.

Condensing Coils Age/Data: Picture and Data Plates (ALL)



Air Handler or Furnace / Age & Data: Picture and Data Plates (ALL)



Air Handler or Furnace / Age & Data: Satisfactory

The furnace(s)/air handler(s) were functional and respond when prompted at it's thermostat. I recommend further review from a qualified HVAC contractor for more information or a detailed evaluation, at least before you take possession of the property or as you feel necessary.

Return-Air Compartment / Filter: Satisfactory - One

The air filter present in the return air compartment is in acceptable condition. I recommend changing filters at least every 30-60 days or as required by the manufacturer.

Cooling Differential Temperature Readings: HVAC / Satisfactory Cooling Comment

NOTE: The cooling unit(s) achieved a satisfactory temperature split between the supply and return air; the standard in the industry for a cooling split is approximately 18 to 22 degrees. However, it would be prudent to have the unit serviced by a qualified HVAC contractor soon and preferably within the inspection period or at least before you take possession of the property. Especially if it hasn't been evaluated or serviced in the past twelve months. Requesting prior service history from the seller could help you determine this.

Cooling Differential Temperature Readings: Air Return Temperatures / As Noted

69

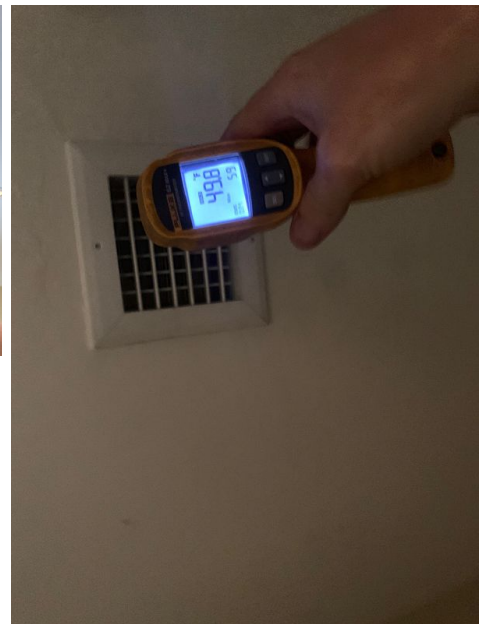
Air return temperatures in degrees Fahrenheit for this residence were as noted.



Cooling Differential Temperature Readings: Air Supply Temperatures / As Noted

50, 49

Air supply temperatures in degrees Fahrenheit for this residence were as noted.



Heating Differential Temperature Readings: HVAC / Satisfactory Heating Comment

NOTE: The heating unit(s) respond on demand and achieve a satisfactory temperature split between the supply and return air. However, it would be prudent to have the unit serviced by a qualified HVAC contractor soon and preferably within the inspection period or at least before you take possession of the property. Especially if it hasn't been evaluated or serviced in the past twelve months. Requesting prior service history from the seller could help you determine this.

Heating Differential Temperature Readings: Air Return Temperatures / As Noted

70

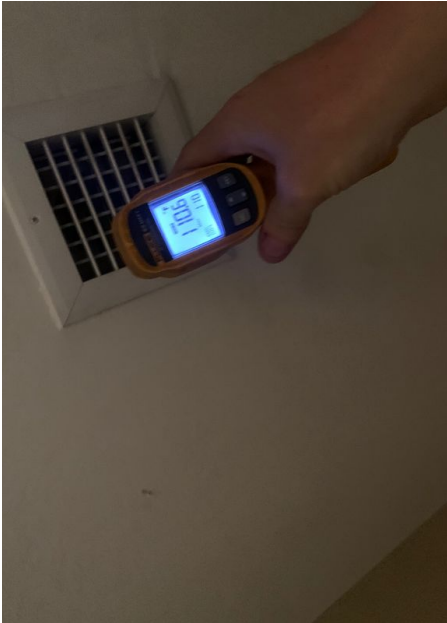
Air return temperatures in degrees Fahrenheit for this residence were as noted.



Heating Differential Temperature Readings: Air Supply Temperatures / As Noted

109-113

Air supply temperatures in degrees Fahrenheit for this residence were as noted.



Thermostats: Satisfactory

The thermostat(s) were functional and respond to their controls at the time of the inspection.

Condensing Coil Disconnect: Not Tested

The electrical disconnect(s) at the condensing coils are present and appear functional; however they were not activated or tested at the time of inspection.



Refrigerant Lines: Satisfactory

The refrigerant lines are in acceptable condition and foam wrapped where viewed.

Drip Pan: Satisfactory / One

The drip pan is acceptable. There was no moisture noted in the pan at the time of inspection.

Ducting: Satisfactory

Flexible Ducting

The visible HVAC ductwork appears to be in satisfactory condition, unless otherwise noted.



Limitations

Ducting

SOME CONCEALED

Portions of the HVAC system ductwork are concealed from view and cannot be evaluated during the inspection. I recommend further evaluation from a qualified contractor, as you feel necessary.

Registers

PROFESSIONALLY CLEAN DUCTWORK

You should consider having the ductwork professionally cleaned. As a reminder, we do not test the air quality as part of this inspection process.

Observations

14.13.1 Refrigerant Lines

ATTIC REFRIGERANT LINE / MISSING SOME INSULATION

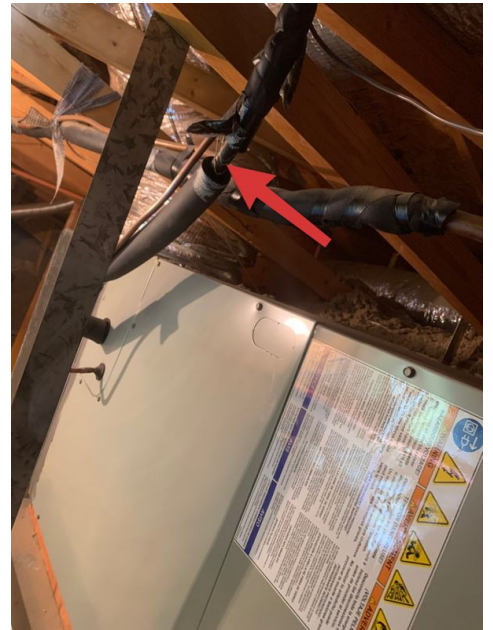


Unsatisfactory Item

A small area of insulation is missing from the attic refrigerant line and should be covered. This area will condense and drip into the attic. It could contribute to moisture type issues if not corrected.

Recommendation

Contact a qualified HVAC professional.



15: BEDROOMS

Information

Windows: Type

Double pane

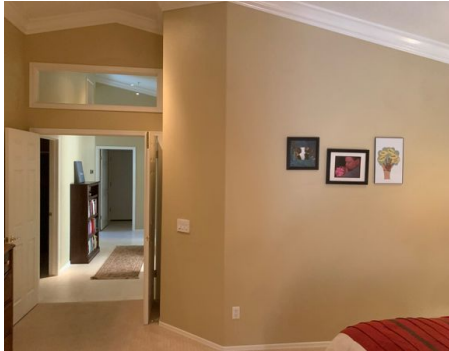
Windows: Emergency Egress OK

Yes

Status of emergency bedroom window egress.

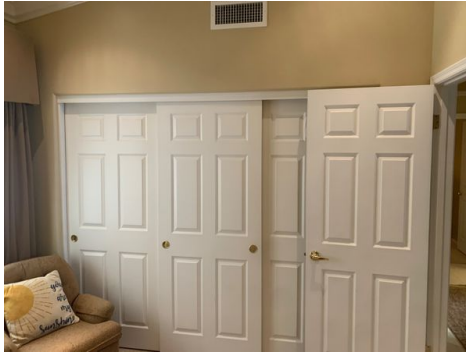
View of Bedrooms: Master Bedroom View / Photos

View of the master bedroom.



View of Bedrooms: Guest Bedroom #1 View / Photos

View of a guest bedroom.



Doors: Satisfactory

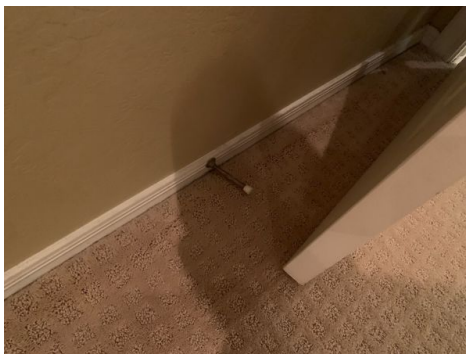
The door(s) in the bedrooms are functional and in satisfactory condition, unless otherwise specifically noted.

Flooring: Satisfactory

The visible floors in the bedrooms are in satisfactory condition unless otherwise specifically noted.

Flooring: Worn Or Cosmetically Damaged

The flooring is worn or cosmetically damaged, which you should view for yourself and correct as desired. A couple of areas could be re-stretched as you feel necessary.



Walls and Ceiling: Satisfactory

The walls and ceilings in the bedrooms are in acceptable condition, unless otherwise noted.

Screens / Shutters / Blinds: Screens / Some Missing

Some of the window screens are missing. Screens are often removed for aesthetic reason, but you may want to have them installed. I recommend asking the seller for more details or if they have them in storage.

Closet: Satisfactory

The closets and interior closet space, in the bedrooms of this property, appear to be in satisfactory condition.

Lights / Wall Switches: Ceiling Lights / Functional

The ceiling lights in the bedroom areas are functional and respond on demand, unless otherwise noted.

Lights / Wall Switches: Wall Switches / Functional

The wall switches in the bedroom areas are functional and respond on demand.

Outlets / Electrical: Outlets / Satisfactory

The outlets in the bedrooms were functional and grounded, unless otherwise noted.

Limitations

Screens / Shutters / Blinds

BLINDS AND SHUTTERS COMMENT

NOTE: We do not test or evaluate blinds, shutters or any other similar type window treatments, throughout this property. They were not evaluated as part of this inspection service. They are only briefly viewed for access to evaluate windows behind them, regardless if they are temporary or permanent. They also can restrict a clear view of window areas and are only operated so I can access any related windows or doors. I recommend you should view them and determine if you want them serviced as you feel necessary.

Closet

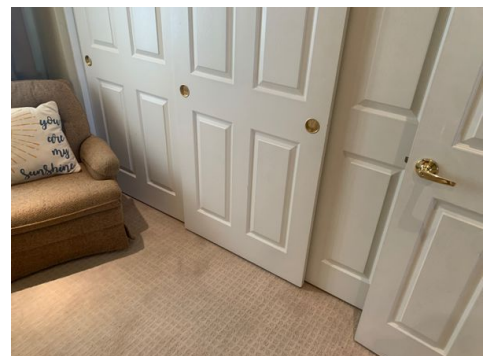
STORAGE NOTED

Storage and personal items in the bedroom closets restricts a thorough evaluation of the interior areas. I recommend you should view the closet areas for yourself once all the storage and other items have been removed.

Closet

MISSING FLOOR GUIDES

Some bedroom closet doors are missing a floor guide to hold the doors in line or in place and restrict movement back and forth. I recommend having it added as you feel necessary.



Ceiling Fans

NONE NOTED

There are not any ceiling fans in the bedrooms.

Outlets / Electrical

OUTLETS / ACCESS BLOCKED OR RESTRICTED

I was unable to access all outlets in this residence during the inspection due to furniture, storage or personal items. I recommend checking any of these outlets once access is available.

Observations

15.11.1 Smoke Detectors

NONE / ADD BEDROOM SMOKE DETECTORS

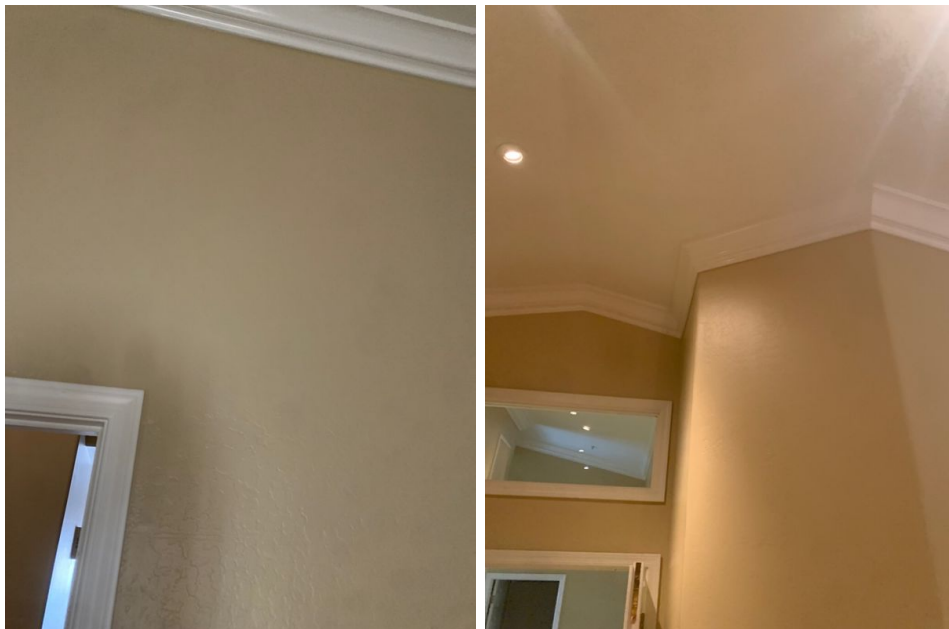
 Unsatisfactory Item

MASTER AND GUEST BEDROOM

There are not any smoke detectors located in the bedrooms. I recommend adding smoke detectors in all bedrooms as an important fire safety upgrade.

Recommendation

Contact a qualified professional.



16: MASTER OR MAIN BATHROOM

Information

Bathroom: Size

Full Bath

Sink and Faucet: Water Flow Pictures

Pictures of functional water flow at the residence bathroom sinks.

**Tub/Shower: Tub and/or Shower Type**

Separate Stall Shower, Separate Tub

Type of tub and/or shower noted in this bathroom.

Windows: Type

Double pane

Cabinets and Drawers: Cabinets / Satisfactory

The bathroom cabinets are satisfactory and functional.

Cabinets and Drawers: Drawers / Satisfactory

The bathroom drawers are satisfactory and functional.

Lights / Wall Switches: Ceiling Lights / Functional

The ceiling lights in the bathrooms are functional and respond on demand.

Lights / Wall Switches: Wall Switches / Functional

The wall switches in the bathrooms are functional and respond on demand.

Outlets / Electrical: GFI Outlets / Reset Location

This Bathroom

Exhaust Fan: Functional

The bathroom exhaust fan(s) are functional and respond on demand.

Bathroom: Location & Picture

Master Bedroom



Remodeled: Remodel

This master bathroom has been remodeled. Therefore, you should request documentation for your records so you can be assured the work was done with a permit and to professional standards. We do not approve of or endorse any work that was done without a permit and latent defects could exist. I recommend asking the seller if they have any more detailed information.

Sink and Faucet: Satisfactory

The sink and faucet were functional and in good condition, unless otherwise noted.

Tub/Shower: Satisfactory

The tub/shower is functional. Water supply was verified and no leaking noted, unless otherwise indicated.

Tub/Shower: Water Flow Pictures

Stall Shower, Tub

Pictures of the functional water flow at residence tub-showers.



Trap and Drain: Satisfactory

The bathroom sink traps and drains are functional. No leaking was noted unless specifically indicated.

Valves and Connectors: Satisfactory

The valves and connectors below the bathroom sinks and toilet appear functional. Valves were not turned or tested, however no leaking was noted at the time of inspection, unless otherwise noted. Valves are not in daily use and will inevitably become stiff or frozen and need service or replacement.

Toilet: Toilet / Satisfactory

The toilets were functional, flush properly and no leaking noted, unless otherwise specified.

Doors: Satisfactory

The doors in the bathrooms are functional and in satisfactory condition, unless otherwise specifically noted.

Flooring: Satisfactory

The floors in the bathrooms are in satisfactory condition unless otherwise specifically noted.

Windows: Satisfactory

The windows in the bathroom are in satisfactory and functional condition, unless otherwise noted.

Walls and Ceiling: Satisfactory

The walls and ceilings in the bathroom are in acceptable condition, unless otherwise noted.

Walls and Ceiling: Typical Settlement Cracking Noted

There are typical and minor settlement type cracking noted on some walls and ceilings in the livable spaces.

**Countertop: Satisfactory**

The visible areas of the bathroom countertops are in satisfactory condition.

Closet: Satisfactory

The closets and interior closet space, in the bathrooms of this property, appear to be in satisfactory condition.

Outlets / Electrical: GFI Satisfactory

The bathroom outlets are functional and include ground fault protection (GFI) that resets in the noted location(s),

Observations

16.3.1 Sink and Faucet

MECHANICAL STOPPER / MISSING

RIGHT SIDE

The mechanical sink stopper is missing and should be replaced.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



16.3.2 Sink and Faucet

FAUCET / LOOSE IN PLACE

RIGHT SIDE

A bathroom faucet is loose in place and should be secured or repaired as necessary. Service is important to help prevent damage or leaking.

Recommendation

Contact a qualified handyman.



Unsatisfactory Item



16.3.3 Sink and Faucet

MECHANICAL STOPPER / LEAKING

RIGHT SIDE

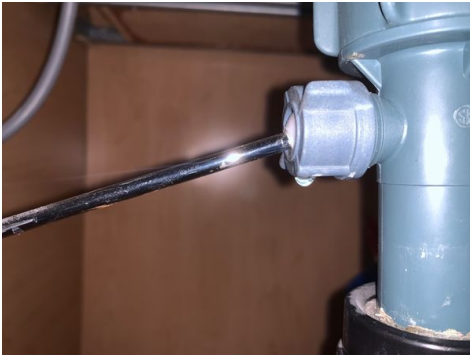
The master bathroom mechanical sink stopper leaks beneath the sink. I recommend evaluation and service as necessary from a qualified contractor.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



16.4.1 Tub/Shower

VALVE / LEAKS DURING USE

The master bathroom tub valve drips or leaks while in use. This should be further evaluated by a qualified contractor for service as necessary.

Recommendation

Contact a qualified plumbing contractor.



Unsatisfactory Item



16.4.2 Tub/Shower

SHOWER DOOR / BAD SEAL

The shower door seal is missing and the surround may need caulking due to water stains on the exterior of the enclosure. It should be serviced and/or caulked as necessary.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



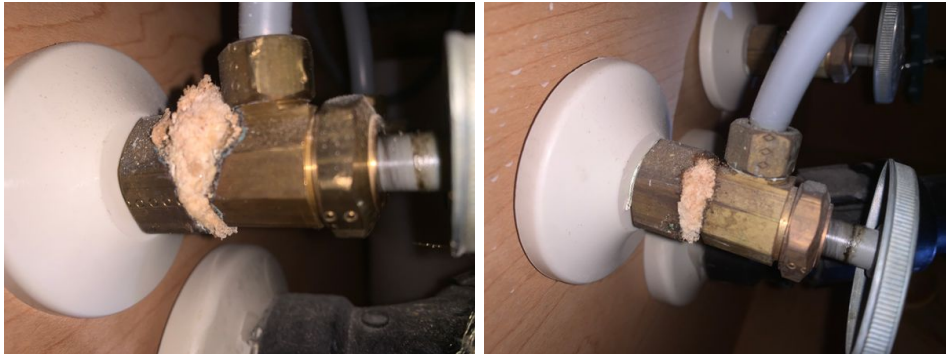


SHUT-OFF VALVE / CORROSION / LEFT SIDE

Corrosion and/or mineral build-up was observed on the bathroom sink left side water shut-off valve on both sink sides. This corrosion or build-up may prevent the shut-off valve from working properly, especially if emergency shut-off is needed. I recommend a qualified contractor should evaluate and repair or replace this valve or connection as necessary.

Recommendation

Contact a qualified professional.



CABINET / STAINING OR DAMAGE / MINOR

LEFT SIDE

The floor of the master bathroom sink cabinet is functional but slightly moisture stained or moisture damaged. I recommend you should view this and correct as desired.

Recommendation

Contact a qualified professional.



17: HALLWAY BATHROOM

Information

Bathroom: Size

Full Bath

**Sink and Faucet: Water Flow
Pictures**

Pictures of functional water flow
at the residence bathroom sinks.

**Tub-Shower: Tub and/or Shower
Type**

Tub & Shower in One

Type of tub and/or shower noted
in this bathroom.

Windows: Type

None

**Cabinets and Drawers: Cabinets /
Satisfactory**

The bathroom cabinets are
satisfactory and functional.

**Cabinets and Drawers: Drawers /
Satisfactory**

The bathroom drawers are
satisfactory and functional.

**Lights / Wall Switches: Ceiling
Lights / Functional**

The ceiling lights in the
bathrooms are functional and
respond on demand.

**Lights / Wall Switches: Wall Lights
/ Functional**

The wall lights in the bathrooms
are functional and respond on
demand.

**Lights / Wall Switches: Wall
Switches / Functional**

The wall switches in the
bathrooms are functional and
respond on demand.

**Outlets / Electrical: GFI Outlets /
Reset Location**

Master Bathroom

Exhaust Fan: Functional

The bathroom exhaust fan(s) are
functional and respond on
demand.

Bathroom: Location & Picture

Hallway



Remodeled: Remodel

The hallway bathroom appears to have been remodeled or upgraded from its original condition . I recommend asking the seller for more detailed information as you feel necessary. You should request documentation for your records so you can be assured the work was done with a permit and to professional standards. We do not approve of or endorse any work that was done without a permit.

Sink and Faucet: Satisfactory

The sink and faucet were functional and in good condition, unless otherwise noted.

Tub-Shower: Satisfactory

The tub/shower is functional. Water supply was verified and no leaking noted, unless otherwise indicated.

Tub-Shower: Water Flow Pictures

Tub/Shower

Pictures of the functional water flow at residence tub-showers.



Valves and Connectors: Satisfactory

The valves and connectors below the bathroom sinks and toilet appear functional. Valves were not turned or tested, however no leaking was noted at the time of inspection, unless specifically noted otherwise. Valves are not in daily use and will inevitably become stiff or frozen and need service or replacement.

Toilet: Satisfactory

The toilet is functional, flushes properly and no leaking was noted, unless otherwise specified.

Doors: Satisfactory

The doors in this bathroom are functional and in satisfactory condition, unless otherwise specifically noted.

Flooring: Satisfactory

The floors in the bathrooms are in satisfactory condition unless otherwise specifically noted.

Countertop: Satisfactory

The visible areas of the bathroom countertops are in satisfactory condition.

Outlets / Electrical: GFI / Satisfactory

The bathroom outlets are functional and include ground fault protection (GFI) that resets in the noted location(s),

Limitations

Windows

NONE NOTED

There are not any windows in this bathroom.

Walls and Ceiling

WALL DAMAGE NEXT TO SHOWER

There is minor moisture damaged drywall adjacent to the hallway bathroom tub/shower, which is not uncommon but should be repaired. This area was not soft or wet to the touch during the inspection. I also recommend correcting the leak source to help prevent future moisture damage. Further evaluation is recommended from a qualified contractor as you feel necessary.



Cabinets and Drawers

STORAGE RESTRICTS VIEWING

Storage in the bathroom cabinets restricts viewing the entire cabinet and any components with them. I recommend checking the cabinets and components again once the storage is removed. It is possible for storage to hide damage, defects or moisture stains/damage that would have otherwise been visible during the inspection.

Closet

NONE NOTED

There were no bathroom closets during this inspection.

Observations

17.4.1 Tub-Shower



Unsatisfactory Item

VALVE / LEAK S DURING USE

The hallway bathroom tub-shower valve drips or leaks while in use. The handle is also loose in place. These items should be further evaluated by a qualified contractor for service as necessary.

Recommendation

Contact a qualified plumbing contractor.



17.4.2 Tub-Shower



Unsatisfactory Item

DRAIN / SLOW

The hallway bathroom tub/shower drains too slowly and should be serviced as necessary by a qualified contractor. Such blockages can progress beyond the drain trap and involve the main waste line. Maybe a build up of hair and soap from normal use?

Recommendation

Contact a qualified professional.



17.4.3 Tub-Shower



Unsatisfactory Item

SHOWERHEAD / CRACKED

The showerhead is cracked at the plumbing connection and needs service or replacement. It is not currently leaking at this connection.

Recommendation

Contact a qualified professional.



17.5.1 Trap and Drain

DRAIN LINE / CALCIUM DEPOSITS

There are calcium or mineral deposits on the hallway bathroom sink drain line which indicates a possible previous slow drain or leak issue. However, this area was not wet or leaking during the inspection. Further evaluation is recommended from a qualified contractor as you feel necessary.

Recommendation

Contact a qualified professional.



Unsatisfactory Item



17.15.1 Lights / Wall Switches

CEILING LIGHT / NO RESPONSE

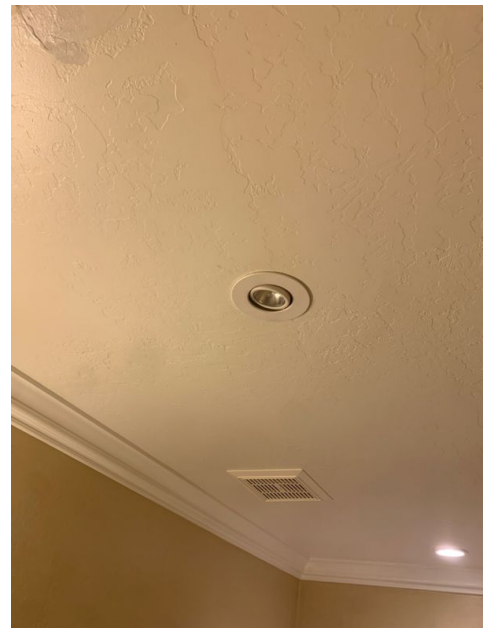
A hallway bathroom ceiling light does not respond and should be demonstrated or serviced as necessary. Maybe a bad bulb?

Recommendation

Contact a qualified professional.



Unsatisfactory Item



18: SETTING REASONABLE EXPECTATIONS

Information

Setting Reasonable Expectations

Setting Reasonable Expectations When Things Go Wrong.

There may come a time that you discover something wrong with your house, and you may be upset or disappointed with your home inspection.

Intermittent Or Concealed Problems

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the water supply. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No Clues

These problems may have existed at the time of the inspection but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem or failure.

We May Miss Some Minor Things

Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$2,000 problems. These are the things that affect peoples decisions to purchase.

Contractors Advice

The main source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement when we said that, with some minor repairs, the roof will last a few more years.

Last Man In Theory

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the Last Man In Theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether the roof leak is his fault or not. Consequently, he won't want to do a minor repair with high liability when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most Recent Advice Is Best

There is more to the Last Man In Theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of First Man In and consequently it is our advice that is often disbelieved.

Why Didnt We See It

Contractors may say, "I cant believe you had this house inspected, and they didn't find this problem". There are several reasons for apparent oversights:

1. Conditions During Inspection

It is difficult for homeowners to remember the circumstances in the house, at the time of the inspection. Homeowners seldom remember that it was raining, there was storage everywhere in the basement or that the furnace could not be turned on because it was too hot out, etc. Its impossible for contractors to know what the circumstances were when the inspection was performed.

2. The Wisdom Of Hindsight

When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 inches of water on the floor. Predicting the problem is a different story.

3. A Long Look

If we spent 1/2 an hour under the kitchen sink or 45 minutes disassembling the furnace, we would probably find more problems too. Unfortunately, the inspection would take several days and would cost considerably more.

4. We are Generalists

We are generalists; we are not specialists. Example: An HVAC contractor is a specialist and will indeed have more knowledge and expertise on heating and cooling systems than we do.

5. An Invasive Look

Problems often become apparent when carpets or drywall/plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform any invasive or destructive tests.

Not Insurance

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

We hope this is good food for thought.

19: REPORT CONCLUSION

Information

Report Conclusion

Congratulations on the purchase of your new home! Since we never know who will be occupying or visiting a property, whether it be children or the elderly, we ask you to consider following these general safety recommendations: install and monitor smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems (if present) by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting its power source; safety-film all non-tempered glass; ensure that every elevated window and the railings of stairs, landings, balconies, and decks are child-safe, meaning that barriers are in place or that the distance between the rails is not wider than three inches; regulate the temperature of water heaters to prevent scalding; make sure that goods that contain caustic or poisonous compounds, such as bleach, drain cleaners, and nail polish removers be stored where small children cannot reach them; ensure that all garage doors are well balanced and have a safety device, particularly if they are the heavy wooden type; remove any double-cylinder deadbolts from exterior doors; and consider installing child-safe locks and alarms on the exterior doors of all pool and spa properties.

We are proud of our service and trust that you will be completely satisfied with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies usually only cover insignificant costs, such as that of roofer service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or manufacturers defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.

FURTHERMORE, you are advised to seek two professional opinions and acquire estimates of repair as to any defects, comments, improvements or recommendations mentioned in this report. We recommend that the professional making any repairs inspect the property further in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections, and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing. Including HVAC professionals, electricians, engineers, window professionals, roofers, etc.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. I am always attempting to improve the quality of my service and this report, and I will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and respect.

STANDARDS OF PRACTICE

Foundation and Structure

I. The inspector shall inspect: A. the foundation; B. the basement; C. the crawlspace; and D. structural components. II. The inspector shall describe: A. the type of foundation; and B. the location of the access to the under-floor space. III. The inspector shall report as in need of correction: A. observed indications of wood in contact with or near soil; B. observed indications of active water penetration; C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

IV. The inspector is not required to: A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself. B. move stored items or debris. C. operate sump pumps with inaccessible floats. D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems. E. provide any engineering or architectural service. F. report on the adequacy of any structural system or component.

Home Interior / Living Areas

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets, and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movements, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there is a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

Hallways

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets, and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movements, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there is a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

Plumbing

I. The inspector shall inspect: A. the main water supply shut-off valve; B. the main fuel supply shut-off valve; C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing; D. interior water supply, including all fixtures and faucets, by running the water; E. all toilets for proper operation by flushing; F. all sinks, tubs and showers for functional drainage; G. the drain, waste and vent system; and H. drainage sump pumps with accessible floats. II. The inspector shall describe: A. whether the water supply is public or private based upon observed evidence; B. the location of the main water supply shut-off valve; C. the location of the main fuel supply shut-off valve; D. the location of any observed fuel-storage system; and E. the capacity of the water heating equipment, if labeled. III. The inspector shall report as in need of correction: A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously; B. deficiencies in the installation of hot and cold water faucets; C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate. IV. The inspector is not required to: A. light or ignite pilot flames. B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater. C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or

fire sprinkler systems. D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply. E. determine the water quality, potability or reliability of the water supply or source. F. open sealed plumbing access panels. G. inspect clothes washing machines or their connections. H. operate any valve. I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection. J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. K. determine the effectiveness of anti-siphon, backflow prevention or drain-stop devices. L. determine whether there are sufficient cleanouts for effective cleaning of drains. M. evaluate fuel storage tanks or supply systems. N. inspect wastewater treatment systems. O. inspect water treatment systems or water filters. P. inspect water storage tanks, pressure pumps, or bladder tanks. Q. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. R. evaluate or determine the adequacy of combustion air. S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves. T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation. U. determine the existence or condition of polybutylene plumbing. V. inspect or test for gas or fuel leaks, or indications thereof.

Main Electrical Panel

The inspector shall inspect: A. the service drop; B. the overhead service conductors and attachment point; C. the service head, goose neck and drip loops; D. the service mast, service conduit and raceway; E. the electric meter and base; F. service-entrance conductors; G. the main service disconnect; H. panel boards and over-current protection devices (circuit breakers and fuses); I. service grounding and bonding; J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible; K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCI's using a GFCI tester, where possible; and L. smoke and carbon-monoxide detectors. II. The inspector shall describe: A. the main service disconnect's amperage rating, if labeled; and B. the type of wiring observed. III. The inspector shall report as in need of correction: A. deficiencies in the integrity of the service entrance conductors insulation, drip loop, and vertical clearances from grade and roofs; B. any unused circuit-breaker panel opening that was not filled; C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible; D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and E. the absence of smoke detectors. IV.

The inspector is not required to: A. insert any tool, probe or device into the main panel board, sub-panels, distribution panel boards, or electrical fixtures. B. operate electrical systems that are shut down. C. remove panel board cabinet covers or dead fronts. D. operate or re-set over-current protection devices or overload devices. E. operate or test smoke or carbon-monoxide detectors or alarms. F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems. G. measure or determine the amperage or voltage of the main service equipment, if not visibly labeled. H. inspect ancillary wiring or remote-control devices. I. activate any electrical systems or branch circuits that are not energized. J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices. K. verify the service ground. L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. M. inspect spark or lightning arrestors. N. inspect or test de-icing equipment. O. conduct voltage-drop calculations. P. determine the accuracy of labeling. Q. inspect exterior lighting.

Bedrooms

Our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets, and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movements, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there is a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.